

FOREVER 21

Main specifications table with columns for Division, Section, and Description. Divisions include General Requirements, Site Work, Concrete, Masonry, Metals, Wood and Plastics, Thermal and Moisture Protection, Doors and Windows, and Finishes.

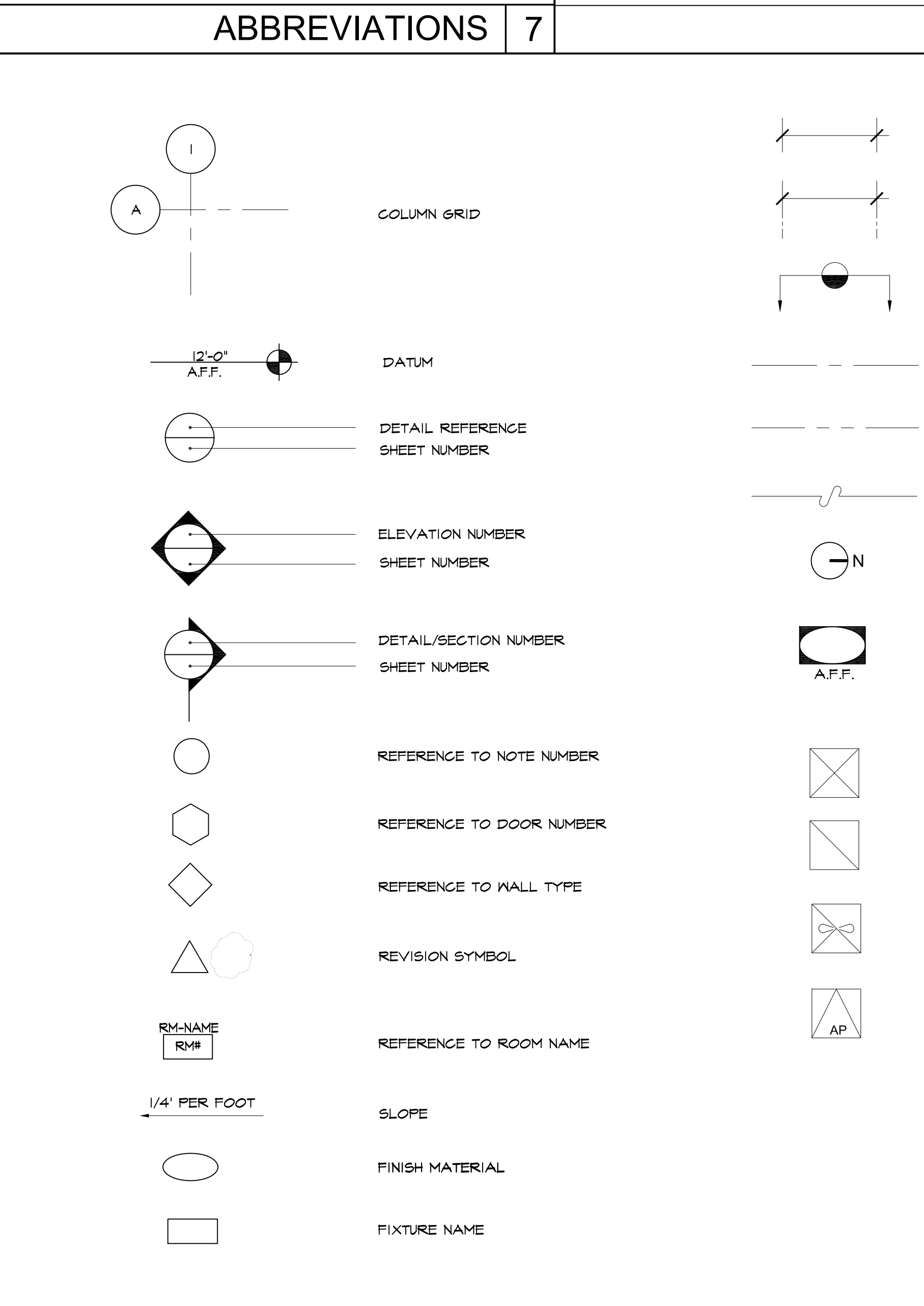
- 1 WORK DONE BY APPROVED L.L. CONTRACTOR AT TENANT'S GENERAL CONTRACTOR'S EXPENSE. 2 EXISTING DOOR BY L.L. CONTRACTOR TO PROVIDE LOCK AND EXIT DEVICES AS SPECIFIED. 3 RE-USE EXISTING HVAC, IF SHOWN ON HYAC DRAWINGS. 4 AUTOMATIC SPRINKLER PLANS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT AND L.L. INSURANCE CO. FOR REVIEW AND APPROVAL... 5 AUTOMATIC FIRE DETECTION AND ALARM SYSTEM PLANS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL... 6 GENERAL CONTRACTOR TO VERIFY EXISTING, IF MISSING, PROVIDE NEW PER CODE AND DESIGN MANUAL. 7 GENERAL CONTRACTOR TO PROVIDE ELECTRICAL J-BOX PER ELEC. DRAWING, G.C. TO COORDINATE WITH SECURITY COMPANY. 8 GENERAL CONTRACTOR TO COORDINATE. 9 GENERAL CONTRACTOR TO PROVIDE PROPER BLOCKING. 10 GENERAL CONTRACTOR TO PROVIDE ELECTRICAL OUTLET INSIDE. 11 GENERAL CONTRACTOR TO PROVIDE NEW IF NOT UP TO HCCF CODE. 12 GENERAL CONTRACTOR TO PROVIDE NEW IF NOT EXISTING. 13 GLAZING, PAINT, AND PUTTY BY GENERAL CONTRACTOR. 14 GENERAL CONTRACTOR TO VERIFY WITH MALL IF REQUIRED. 15 ALL DUCTWORK IN SALES AREA TO BE EXPOSED SPIRAL DUCTS, PAINTED PTH. EXISTING DUCTS TO BE LOWERED OR RAISED TO BE BELOW FINISHED CEILING AS REQUIRED.

Table with columns for existing and proposed materials and finishes. Includes categories like L.L., FURNISH, INSTALL, etc., for various materials like concrete, brick, metal, wood, and insulation.

- 16 ALL SPRINKLER LINES IN SALES AREAS TO BE EXPOSED BELOW CEILING - PAINTED PTH. IF EXISTING SPRINKLER LINE IS ABOVE CEILING, DROP THE HEADS ONLY. VERIFY WITH LANDLORD. 18 GENERAL CONTRACTOR TO COORDINATE WITH SUPPLIER. 20 GENERAL CONTRACTOR TO COORDINATE WITH OWNER. 21 HEIGHT OF ALL EXIST. MALL DUCTS TO BE VERIFIED BY CONTRACTOR BEFORE BIDDING AND TO BE RAISED OR MOVED TO ABOVE NEW CEILING AT CONTRACTOR'S EXPENSE AS REQUIRED. 22 G.C. TO PROVIDE FOLLOWING CABLES: - CCTV CAMERA - FLEMUM R65 50/102 INSH CCTV COMBO SIAMESE COAX (102 UNSHIELD) - VIDEO - FLEMUM R66 / CATV-WHT-COMMS COAX - DATA - FLEMUM GATE 200MHz - FLEMUM GATE 100MHz - BEACH WIRE & CABLE CONTACT: BEACH WIRE & CABLE TEL: (800) 804-2922 FAX: (714) 845-6609 JIM GUESENBERRY

RESPONSIBILITY SCHEDULE 8

ABBREVIATIONS 7 table listing various abbreviations used in the drawing, such as ACCOBS, ADJ, AFF, ARCH, ARCHG, ARCHT, BLDGS, BLK, BLOCK, BLOCKING, BM, BOT, BOTTOM, CEM, CEMENT, etc.

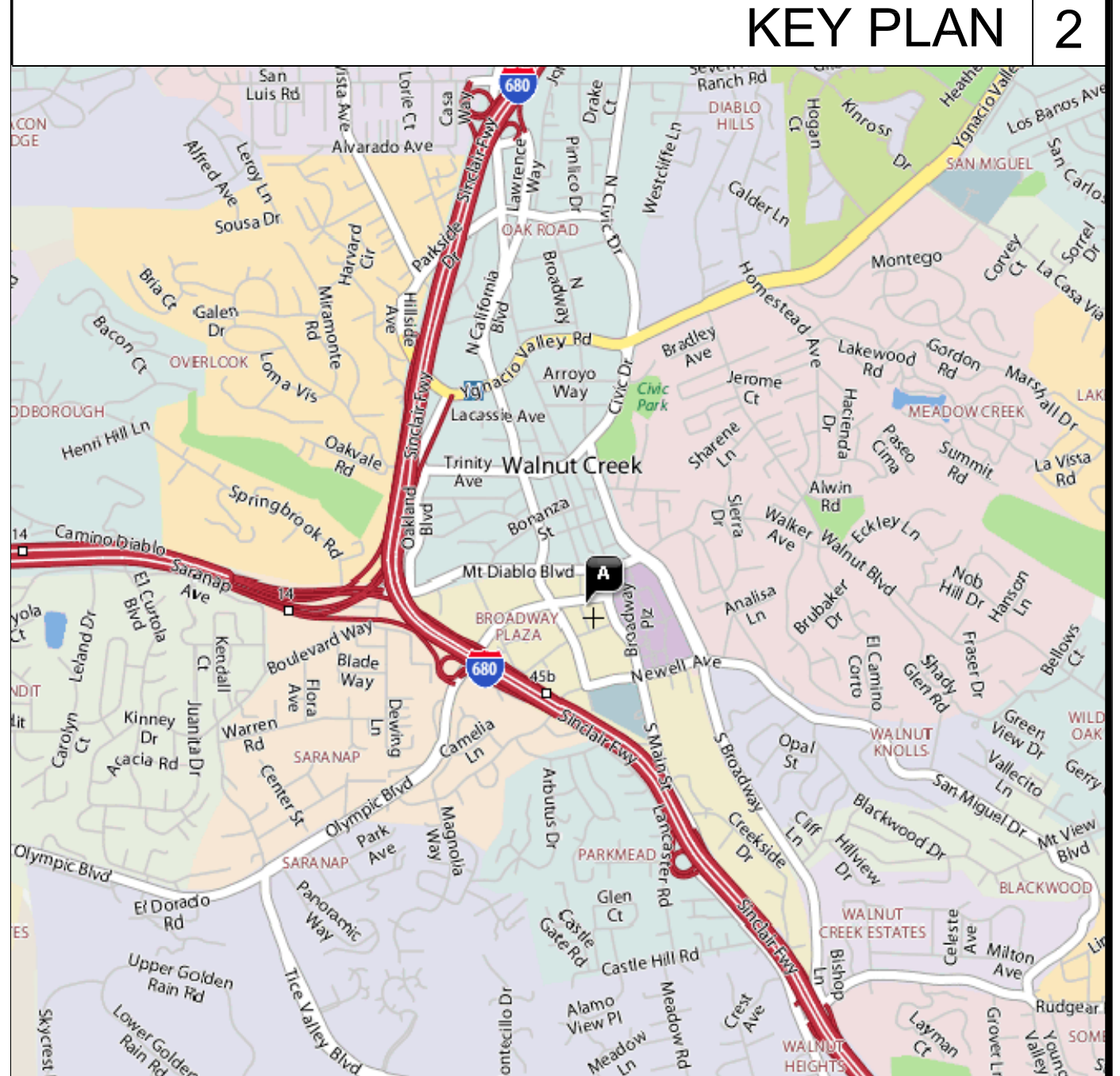


ARCHITECTURAL 1 table listing architectural details and sections such as A0.0.0 COVER SHEET, A0.1.0 GENERAL NOTES, A0.1.0.1 LANDLORD NOTES, A0.1.1 KEY NOTES, A0.1.2 WALL & DOOR SCHEDULES, A0.1.3 LIGHT FIXTURE SCHEDULE, A0.1.4 FINISH SCHEDULES, A0.1.5 EGRESS PLAN, A0.2.0 DEMOLITION PLAN, A0.2.1 FLOOR PLAN, A0.2.2 REFLECTED CEILING PLAN, A0.2.3 ENLARGED FIX., RCP & MOLDING DETAIL, ACCESSORIES FIXTURE SCHEDULE, A0.2.4 ENLARGED FIX., RCP & MOLDING DETAIL, ENLARGED FIX., RCP & MOLDING DETAIL, A0.3.0 FINISH PLAN, A0.4.0 POWER PLAN, A0.2.0 INTERIOR ELEV. - DRESSING ROOMS, A0.2.1 SECTIONS, A0.2.2 SECTIONS, A0.2.0 INTERIOR ELEVATIONS, A0.2.1 INTERIOR ELEVATIONS, A0.2.2 INTERIOR ELEVATIONS, A0.2.3 INTERIOR ELEVATIONS, A0.3.0 STOREFRONT ELEVATION/ENLARGED PLAN, A0.3.1 STOREFRONT ELEVATION/ENLARGED PLAN, A0.3.2 STOREFRONT ELEVATION/ENLARGED PLAN, A0.3.3 STOREFRONT ELEVATION/ENLARGED PLAN, A0.3.4 STOREFRONT ELEVATION/ENLARGED PLAN, A4.0.0 TYPICAL WALL DETAILS, A4.0.1 TYPICAL STUD DETAILS, A4.0.2 TYPICAL STUDS, WALL & COLUMN DETAILS, A4.0.3 TYPICAL WALL DETAILS, A4.1.0 CEILING DETAILS, A4.1.1 CEILING DETAILS, A4.2.0 DOOR DETAILS, A4.3.0 TYPICAL SIGNAGE DETAILS (FOREVER 21), A4.4.0 FLOOR TRANSITION DETAILS, A4.5.0 SENSORMATIC DETAILS, A4.6.0 STAIR DETAILS, A4.7.0 TOILET ROOM DETAILS, F2.0.0 TYPICAL WALL FIXTURE DETAILS, F2.0.1 TYP. WALL FIXTURES HOCF BENCH & MIRROR FIXTURE DETAILS, F2.0.2 TYPICAL WALL FIXTURE DETAILS, F3.0.3 6 REGISTER CASHWRAP DETAILS (21), H-1 HG GENERAL NOTES, H-2 HG GENERAL NOTES, H-3 HG ACCESSORY COMPLIANCE, SP.1 SPECIFICATIONS, SP.2 SPECIFICATIONS, SP.3 SPECIFICATIONS, SP.4 SPECIFICATIONS

SHEET INDEX 6

PROJECT TEAM 4 table listing project information including client/owner (Forever 21, Inc.), architect/engineer (Lee + Lee), project designer (Monique Lee), construction contact (V.P. of Construction), and project description (Retail Store - Tenant Improvement).

PROJECT DATA 3 table containing occupancy load calculation (Sales Area 12379 sq. ft./30 = #12, Non-Sales Area 870 sq. ft./300 = 3, Total 13249 sq. ft. = #15), number of employees (shall not exceed 15 employees at one shift), and applicable codes (2007 California Building Code, 2007 California Fire Code, 2007 Mechanical Code, 2007 Electrical Code, 2007 California Reference Standards Code, 2008 California Energy Code, 2008 California Green Building Standards Code, City of Walnut Creek Municipal Code).



VICINITY MAP 1

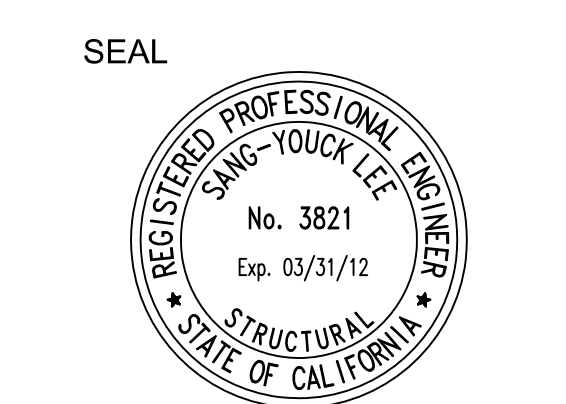
DATE: JUNE, 2010
JOB NO: 2K-963
DRAWN: STAFF
CHECKED: STAFF
IN HOUSE: STAFF

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TENANT IMPROVEMENT
PLAZA ESCUELA
1158 LOCUST ST. BLDG. D & E
WALNUT CREEK, CALIFORNIA 94596



SUBMITTALS:
07-07-10 PRELIMINARY SUBMITTAL TO LANDLORD
10-08-10 FINAL SUBMITTAL TO CITY PLAN CHECK
10-15-10 FINAL SUBMITTAL TO LANDLORD / BID SET #

REVISIONS table with columns for NO, DATE, REVISION. Includes one revision: 10/15/10 ADDENDUM.

SHEET NAME: COVER SHEET

SHEET NUMBER: A0.0.0

SCALE: N/A