

WE, MC 288, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ACTING BY AND THROUGH BRIAN CARLOCK, SR. VICE PRESIDENT OF MC 288, LLC, PRESIDENT OF THE PROPERTY SUBDIVIDED, IN THE PLAT OF POMONA SECTION 4, 34.064 ACRES OF LAND LOCATED IN THE H.T. & B.R.R. CO. SURVEY, SECTION 79, ABSTRACT 298, AND THE H.T. & B.R.R. CO. SURVEY, SECTION 88, A.K.A. R.B. LYLE SURVEY, ABSTRACT 540, BRAZORIA COUNTY, TEXAS, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID CORPORATION, ACCORDING TO THE LINES, LOTS, BUILDING LINES, STREETS, ALLEYS, PARKS, AND EASEMENTS AS SHOWN HEREON AND DEDICATE FOR PUBLIC USE AS SUCH, THE STREETS, ALLEYS, PARKS AND EASEMENTS SHOWN HEREON FOREVER, AND DO HEREBY WAIVE ALL CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHMENT OF GRADES AS APPROVED FOR THE STREETS AND DRAINAGE EASEMENTS DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE, OR ANY PORTION OF THE STREETS OR DRAINAGE EASEMENTS TO CONFORM TO SUCH GRADES, AND DO HEREBY BIND OURSELVES, OUR HEIRS, SUCCESSORS AND ASSIGNS TO WARRANT AND DEFEND THE TITLE TO THE LAND SO DEDICATED.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES FOREVER UNOBTSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11' 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS OR SEVEN FEET, SIX INCHES (7' 6") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5' 6") FOR SIXTEEN FEET (16' 0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED, HEREON, WHEREBY EACH AERIAL EASEMENT TOTALS TWENTY-ONE FEET, SIX INCHES (21' 6") IN WIDTH.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES FOREVER UNOBTSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS, OR EIGHT FEET (8' 0") FOR FIFTEEN FEET (15' 0") BACK-TO-BACK GROUND EASEMENTS OR SEVEN FEET (7' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENTS, FROM A PLANE SIXTEEN FEET (16' 0") ABOVE GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U.E. AND A.E.) AS INDICATED AND DEPICTED, HEREON, WHEREBY EACH AERIAL EASEMENT TOTALS THIRTY FEET (30' 0") IN WIDTH.

IN TESTIMONY HERETO, MC 288, LLC, A DELAWARE LIMITED LIABILITY COMPANY HAS CAUSED THESE PRESENTS TO BE SIGNED BY BRIAN CARLOCK, SR. VICE PRESIDENT OF MC 288, LLC, THIS _____ DAY OF _____, 2014.

BY: MC 288, LLC, A DELAWARE LIMITED LIABILITY COMPANY'S

Brian Carlock
BRIAN CARLOCK, SR. VICE PRESIDENT

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRIAN CARLOCK, SR. VICE PRESIDENT OF MC 288, LLC, A DELAWARE LIMITED LIABILITY COMPANY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN AND HEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 28 DAY OF October, 2014.

Susan Dear
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

I, KEITH W. MONROE, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION ON THE GROUND IN ACCORDANCE WITH THE INFORMATION PROVIDED ME AND CORRECTLY REPRESENTS THE FACTS AS FOUND AT THE TIME OF SURVEY AND IS TRUE AND CORRECT AND THAT ALL BOUNDARY CORNERS, LOT CORNERS, ANGLE POINTS, AND POINTS OF CURVATURE ARE PROPERLY MARKED WITH 5/8 INCH DIAMETER IRON RODS THREE FEET LONG OR AS SHOWN ON THE PLAT. (SEE NOTE NO. 5)

Keith W. Monroe
KEITH W. MONROE, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 4797

THIS IS TO CERTIFY THAT THE CITY COUNCIL OF THE CITY OF MANVEL, TEXAS HAS APPROVED THIS PLAT AND SUBDIVISION OF POMONA SECTION 4 AND IS IN CONFORMANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE ORDINANCES OF THE CITY OF MANVEL, TEXAS AND AUTHORIZED THE RECORDING OF THIS PLAT THIS 17 DAY OF November, 2014.

Delores M. Martin
MAYOR DELORES M. MARTIN
Melody Hamblin
MELBODY HAMBLIN, MAYOR PRO-TEM
John Gufler
JOHN GUFLER
Larry Kery
LARRY KERY
Maureen DelBello
MAUREEN DELBELLO

THIS IS TO CERTIFY THAT THE CITY PLANNING COMMISSION OF THE CITY OF MANVEL, TEXAS HAS APPROVED THIS PLAT AND SUBDIVISION OF POMONA SECTION 4 AND IS IN CONFORMANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE ORDINANCES OF THE CITY OF MANVEL, TEXAS AND AUTHORIZED THE RECORDING OF THIS PLAT THIS 17 DAY OF November, 2014.

Kyle Marascik
KYLE MARASCIK
Debbie Harrison
DEBBIE HARRISON
Lorraine Hehn
LORRAINE HEHN
Jason Rains
JASON RAINS
Brian Wilmer
BRIAN WILMER

2015040831 PLAT
Total Pages: 2
BRAZORIA DRAINAGE DISTRICT NO. 4
DISTRICT ENGINEER

THE ABOVE HAVE SIGNED THESE PLANS AND/OR PLAT BASED ON THE RECOMMENDATION OF THE DISTRICT'S ENGINEER WHO HAS REVIEWED ALL SHEETS PROVIDED AND FOUND THEM TO BE IN GENERAL COMPLIANCE WITH THE DISTRICT'S "RULES, REGULATIONS, AND GUIDELINES". THIS APPROVAL IS ONLY VALID FOR THREE HUNDRED SIXTY-FIVE (365) CALENDAR DAYS. AFTER THAT TIME RE-APPROVAL IS REQUIRED. PLEASE NOTE, THIS DOES NOT NECESSARILY MEAN THAT ALL THE CALCULATIONS PROVIDED IN THESE PLANS AND/OR PLATS HAVE BEEN COMPLETELY CHECKED AND VERIFIED. PLANS PROVIDED HAVE BEEN PROPERLY SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE ENGINEERING IN THE STATE OF TEXAS AND PLAT HAS BEEN SIGNED AND SEALED BY A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE OF TEXAS, WHICH CONVEYS THE ENGINEER'S AND/OR SURVEYOR'S RESPONSIBILITY AND ACCOUNTABILITY.

BRAZORIA DRAINAGE DISTRICT NO. 4 NOTES:

1. ANY GOVERNMENTAL BODY FOR PURPOSES OF DRAINAGE WORK MAY USE DRAINAGE EASEMENTS AND FEE STRIPS PROVIDED THE DISTRICT IS PROPERLY NOTIFIED.
2. PERMANENT STRUCTURES, INCLUDING FENCES AND PERMANENT LANDSCAPING, SHALL NOT BE ERRECTED IN A DRAINAGE EASEMENT OR FEE STRIPS.
3. MAINTENANCE OF DETENTION FACILITIES IS THE SOLE RESPONSIBILITY OF THE OWNER OF THE PROPERTY. THE DISTRICT WILL PROVIDE MAINTENANCE OF REGIONAL FACILITIES OWNED AND CONSTRUCTED BY THE DISTRICT, OR SUB-REGIONAL FACILITIES CONSTRUCTED BY DEVELOPER(S) FOR WHICH OWNERSHIP HAS BEEN TRANSFERRED TO THE DISTRICT WITH THE DISTRICT'S APPROVAL. THE DISTRICT IS RESPONSIBLE ONLY FOR THE MAINTENANCE OF FACILITIES OWNED BY THE DISTRICT UNLESS THE DISTRICT SPECIFICALLY CONTRACTS OR AGREES TO MAINTAIN OTHER FACILITIES.
4. CONTRACTOR SHALL NOTIFY THE DISTRICT IN WRITING AT LEAST FORTY-EIGHT (48) HOURS BEFORE PLACING ANY CONCRETE FOR DRAINAGE STRUCTURES.
5. THE DISTRICT'S PERSONNEL SHALL HAVE THE RIGHT TO ENTER UPON THE PROPERTY FOR INSPECTION AT ANY TIME DURING CONSTRUCTION OR AS MAY BE WARRANTED TO ENSURE THE DETENTION FACILITY AND DRAINAGE SYSTEM ARE OPERATING PROPERLY.
6. APPROPRIATE COVER FOR THE SIDE SLOPES, BOTTOM AND MAINTENANCE BERM SHALL BE ESTABLISHED PRIOR TO ACCEPTANCE OF THE CONSTRUCTION BY THE DISTRICT. AT LEAST 95% GERMINATION OF THE GRASS MUST BE ESTABLISHED PRIOR TO ACCEPTANCE OF CONSTRUCTION BY THE DISTRICT.
7. NO BUILDING PERMIT SHALL BE ISSUED FOR ANY LOT WITHIN THIS DEVELOPMENT UNTIL THE DETENTION FACILITY HAS BEEN CONSTRUCTED AND APPROVED BY THE DISTRICT.
8. THE DISTRICT'S APPROVAL OF THE FINAL DRAINAGE PLAN (AND FINAL PLAT IF REQUIRED) DOES NOT AFFECT THE PROPERTY RIGHTS OF THIRD PARTIES. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING AND MAINTAINING ANY AND ALL EASEMENTS, FEE STRIPS AND/OR ANY OTHER RIGHTS-OF-WAY ACROSS THIRD PARTIES' PROPERTIES FOR PURPOSES OF MOVING EXCESS RUNOFF TO THE DISTRICT'S DRAINAGE FACILITIES AS CONTEMPLATED BY THE FINAL DRAINAGE PLAN AND FINAL PLAT.

NOTES:

1. THIS PLAT HAS BEEN PREPARED TO MEET THE REQUIREMENTS FOR THE STATE OF TEXAS, BRAZORIA COUNTY AND THE CITY OF MANVEL.
ALL FLOODPLAIN INFORMATION NOTED IN THE PLAT REFLECTS THE STATUS PER THE FEMA FIRM MAP THAT IS EFFECTIVE AT THE TIME THE PLAT IS RECORDED. FLOODPLAIN STATUS IS SUBJECT TO CHANGE AS FEMA FIRM MAPS ARE UPDATED.
2. THIS PLAT WAS PREPARED FROM INFORMATION PROVIDED BY STEWART TITLE COMPANY, FILE NO. 1403938647, DATED AUGUST 12, 2014.
3. ALL BEARINGS REFERENCED ARE TO THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE. THE COORDINATES SHOWN ARE GRID AND CAN BE BROUGHT TO SURFACE BY DIVIDING BY AN ADJUSTMENT FACTOR OF 0.99988547.
4. ALL SUBDIVISION COMMON AREAS INCLUDING BUT NOT LIMITED TO DETENTION FACILITIES, EASEMENTS AND OPEN SPACES WITHIN THE BOUNDARIES OF THIS PLAT SHALL BE MAINTAINED BY A HOMEOWNERS ASSOCIATION, COMMERCIAL PROPERTY ASSOCIATION BY OTHER ENTITY AND SHALL NOT BE THE RESPONSIBILITY OF THE CITY OF MANVEL OR BRAZORIA COUNTY.
5. FIVE-EIGHTHS INCH (5/8") IRON RODS WITH PLASTIC CAP MARKED "LIA ENG." THREE FEET IN LENGTH HAVE BEEN SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED. BLOCK CORNERS OR STREET RIGHT-OF-WAYS HAVE NOT BEEN MONUMENTED.
6. BENCHMARK: A BRASS DISK STAMPED M 688 RESET, LOCATED 2.35 MILES NORTHEASTERLY ALONG F.M. 521 FROM THE INTERSECTION OF STATE HIGHWAY 5 IN ARCOLA AND APPROXIMATELY 0.40 MILE SOUTH WESTERLY FROM THE CROSSING OF THE AMERICAN CANAL AND F.M. 521, AT FRESNO. THE BRASS DISK IS IN THE EASTERLY RIGHT-OF-WAY OF F.M. 521, AT THE JUNCTION OF DALLAS ROAD, SET IN THE TOP OF A CONCRETE HEADWALL, 39.0 FEET EAST OF THE CENTERLINE OF F.M. 521, 13.0 FEET SOUTH OF THE CENTERLINE OF DALLAS ROAD, AND 1.8 FEET EAST OF THE WEST END OF THE CONCRETE HEADWALL, AND IS APPROXIMATELY LEVEL WITH THE HIGHWAY AND THE ROAD.
ELEV. = 71.52 FEET, NGVD-29 (1978 ADJ.)
7. TBM INDICATES TEMPORARY BENCHMARK: A 5/8" IRON ROD WITH A CAP MARKED "LIA ENG.", LOCATED APPROXIMATELY 1.57 MILES NORTH ALONG BRAZORIA COUNTY ROAD NO. 48 FROM THE INTERSECTION OF SAID COUNTY ROAD NO. 48 AND BRAZORIA COUNTY ROAD NO. 58, ON THE WEST SIDE OF SAID COUNTY ROAD NO. 48 AND ON THE SOUTH SIDE OF THE AMERICAN CANAL, SET IN THE CENTERLINE OF THE SOUTHERLY LEVEE AND IS 30.2 FEET EAST OF THE NORTH END OF STEEL GATE, AND 23.6 FEET WEST OF THE SOUTH END OF A CONCRETE HEADWALL ON THE WEST SIDE OF THE BRIDGE ACROSS THE AMERICAN CANAL. THE TBM IS COUNTER SUNK 0.2 FEET.
ELEV. = 69.11 FEET, NGVD-29 (1978 ADJ.)
8. THIS TRACT LIES PARTIALLY IN ZONE "AE" AND PARTIALLY IN ZONE "X" OF THE F.I.R.M. FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, TEXAS, DATED JUNE 5, 1989, MAP NO. 48039C002R. CONTACT THE BRAZORIA COUNTY FLOODPLAIN ADMINISTRATOR FOR THE FLOOD INFORMATION.
9. ANY CONSTRUCTION PROPOSED TO BE INSTALLED WITHIN A PROPERTY EASEMENT WITH PRESCRIBED RIGHTS TO THE PRIVATE ENTITY MAY REQUIRE THE PERMISSION OF THE PRIVATE ENTITY PRIOR TO THE START OF CONSTRUCTION. FAILURE TO SECURE SUCH PERMISSION MAY RESULT IN THE RIGHT HOLDER(S) OF THE EASEMENT REMOVING ANY UNAPPROVED PAVEMENT, STRUCTURES, UTILITIES OR OTHER FACILITIES LOCATED WITHIN THE EASEMENT. THE RESPONSIBILITY OF SECURING APPROVAL FROM THE PRIVATE ENTITIES TO BUILD WITHIN AN EASEMENT IS SOLELY THAT OF THE OWNER.
10. THE MINIMUM SLAB ELEVATION FOR ALL BUILDINGS LOCATED WITHIN THE BOUNDARIES OF THIS PLAT SHALL BE THE HIGHER OF (1) EITHER 18 INCHES ABOVE THE TOP OF CURB ELEVATION FOR A CURB STREET (2) 24 INCHES ABOVE THE 100 YEAR FLOODPLAIN WATER SURFACE ELEVATION FOR STRUCTURES TO BE LOCATED WITHIN THE 100 YEAR FLOODPLAIN. (3) 12 INCHES ABOVE FINISHED GRADE.
11. ANY PROPOSED DRAINAGE SYSTEM FOR THIS SUBDIVISION SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF MANVEL AND BRAZORIA DRAINAGE DISTRICT NO. 4.
12. THIS PROPERTY IS LOCATED PARTIALLY WITHIN BRAZORIA COUNTY MUNICIPAL UTILITY DISTRICT NO. 39, AT THE TIME OF PLATTING.
13. ALL LANDSCAPING AND STRUCTURES, INCLUDING FENCES AT INTERSECTIONS SHALL CONFORM TO THE CITY OF PEARLAND AND AASHTO SIGN DISTANCE REQUIREMENTS FOR MOTORISTS.
14. BOUNDARY CLOSURE CALCULATIONS IS AT LEAST 1:15,000.
15. SIDEWALKS SHALL BE CONSTRUCTED AS PART OF THE ISSUANCE OF A BUILDING PERMIT FOR EACH TRACT OR LOT.
16. THE FINAL PLAT WILL EXPIRE TWO YEARS AFTER FINAL APPROVAL BY COUNCIL, IF NOT RECORDED.
17. THERE ARE NO PROPOSED STREET LIGHTS ON THIS PLAT.
18. THE MINIMUM SETBACK AND MINIMUM LOT FRONTAGE REQUIREMENTS ARE BASED ON THE MASTER PLAT INCLUDED AS EXHIBIT A WITHIN THE FIRST AMENDMENT TO DEVELOPMENT AGREEMENT EFFECTIVE SEPTEMBER 9, 2013.
19. FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT MINIMUM SIDE YARD SETBACKS SHALL BE FIVE FEET. MINIMUM FRONT YARD SETBACKS SHALL BE 20 FEET FOR FRONT BUILDING LINE AND 25 FEET FOR GARAGES, AND MINIMUM SIDE YARDS SETBACKS FOR CORNER LOTS SHALL BE 20 FEET. SIDE YARD SETBACKS FOR CORNER LOTS THAT ARE ONLY ADJACENT TO OTHER SIDE YARDS SHALL HAVE A MINIMUM SIDE YARD SETBACK OF 15 FEET.

BEING 34.063 ACRES OF LAND LOCATED IN THE H.T. & B.R.R. CO. SURVEY, SECTION 79, ABSTRACT 298, AND THE H.T. & B.R.R. CO. SURVEY, SECTION 88, A.K.A. R.B. LYLE SURVEY, ABSTRACT 540, BRAZORIA COUNTY, TEXAS, BEING A PORTION OF LOTS 46, 47, 48, 49, 57, 58, AND 59 OF SECTION 79, AND A PORTION OF LOTS 7, 8, AND 9 OF SECTION 88, OF THE ALLISON RICHEY GULF COAST HOME COMPANY PART OF SUBURBAN GARDENS, A SUBDIVISION OF RECORD IN VOLUME 2, PAGE 98, PLAT RECORDS OF SAID BRAZORIA COUNTY, TEXAS (B.C.O.P.R.), BEING A PORTION OF THAT CERTAIN CALLED 971.956 ACRE TRACT (DESCRIBED AS PART ONE) CONVEYED TO MC 288, LLC, BY AN INSTRUMENT OF RECORD UNDER FILE NO. 2013052884, IN THE OFFICIAL PUBLIC RECORDS OF SAID BRAZORIA COUNTY, TEXAS (B.C.O.P.R.), SAID 34.063 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (ALL BEARINGS REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, MAD 83 (1993 ADJUSTMENT)):

COMMENCING AT THE MOST NORTHERLY NORTHEAST CORNER OF SAID 971.956 ACRE TRACT, SAME BEING ON THE COMMON LINE OF LOTS 18 AND 28 OF SAID SECTION 88;

THENCE, NORTH 81° 51' 19" WEST, WITH THE NORTHERLY LINE OF SAID 971.956 ACRE TRACT, 1,646.29 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT;

THENCE, DEPARTING SAID NORTHERLY LINE, 572.82 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 690.00 FEET, A CENTRAL ANGLE OF 47° 33' 57", AND A CHORD WHICH BEARS SOUTH 07° 43' 43" EAST, 556.51 FEET TO A POINT FOR CORNER;

THENCE, SOUTH 18° 03' 15" WEST, 364.37 FEET TO A POINT FOR CORNER, SAME BEING THE NORTHEAST CORNER OF THAT CERTAIN CALLED 12.947 ACRE TRACT CONVEYED TO ALVIN INDEPENDENT SCHOOL DISTRICT BY AN INSTRUMENT OF RECORD UNDER DOCUMENT NUMBER 2014042396, B.C.O.P.R.;

THENCE, WITH THE NORTHERLY AND WESTERLY LINES OF SAID 12.947 ACRE TRACT THE FOLLOWING TWELVE (12) COURSES:

1. NORTH 71° 58' 14" WEST, 80.72 FEET TO A POINT FOR CORNER;
2. SOUTH 81° 43' 24" WEST, 24.84 FEET TO A POINT FOR CORNER;
3. NORTH 53° 07' 07" WEST, 107.78 FEET TO A POINT FOR CORNER;
4. NORTH 34° 27' 21" WEST, 20.00 FEET TO A POINT FOR CORNER, THE BEGINNING OF A CURVE;
5. 327.40 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 355.00 FEET, A CENTRAL ANGLE OF 52° 50' 31", AND A CHORD WHICH BEARS SOUTH 81° 57' 54" WEST, 315.92 FEET TO A POINT FOR CORNER;
6. NORTH 71° 36' 50" WEST, 132.95 FEET TO A POINT FOR CORNER, THE BEGINNING OF A CURVE;
7. 211.51 FEET ALONG THE ARC OF A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 1,170.00 FEET, CENTRAL ANGLE OF 1° 21' 28", AND A CHORD WHICH BEARS NORTH 76° 47' 34" WEST, 211.22 FEET TO A POINT FOR CORNER;
8. SOUTH 07° 51' 11" WEST, 182.04 FEET TO A POINT FOR CORNER;
9. SOUTH 25° 36' 01" WEST, 180.63 FEET TO A POINT FOR CORNER;
10. SOUTH 50° 26' 07" WEST, 101.83 FEET TO A POINT FOR CORNER;
11. NORTH 83° 53' 58" WEST, 20.97 FEET TO A POINT FOR CORNER;
12. SOUTH 72° 08' 21" WEST, 34.08 FEET TO A POINT FOR CORNER;

THENCE, NORTH 22° 37' 15" WEST, 33.72 FEET TO A POINT FOR CORNER, THE BEGINNING OF A CURVE;

THENCE, 228.17 FEET ALONG THE ARC OF A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 405.00 FEET, A CENTRAL ANGLE OF 32° 16' 48", AND A CHORD WHICH BEARS NORTH 38° 45' 39" WEST, 225.17 FEET TO A POINT FOR CORNER;

THENCE, NORTH 54° 54' 03" WEST, 348.96 FEET TO A POINT FOR CORNER;

THENCE, NORTH 35° 05' 57" EAST, 12.25 FEET TO A POINT FOR CORNER;

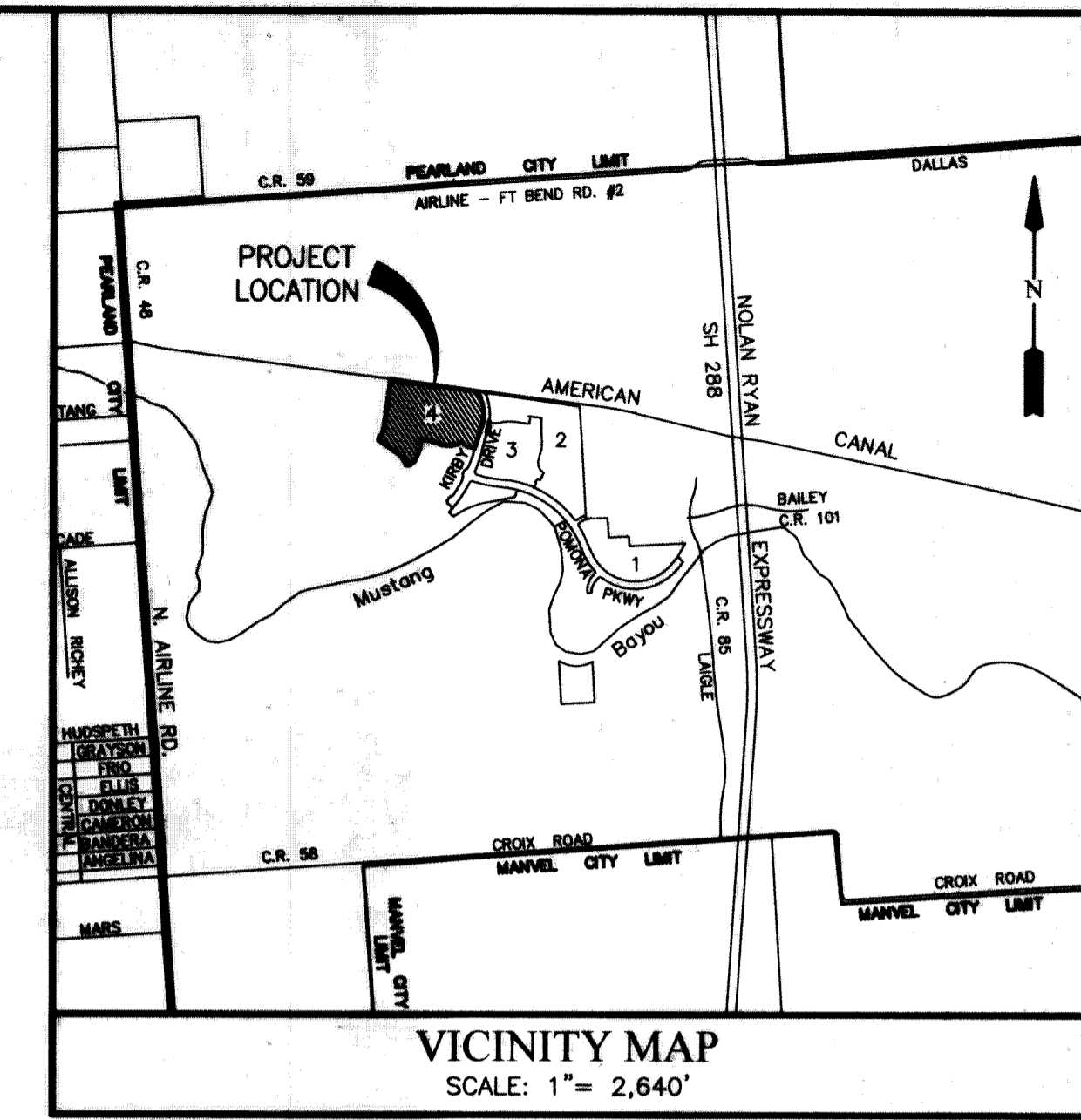
THENCE, NORTH 28° 57' 19" EAST, 100.91 FEET TO A POINT FOR CORNER;

THENCE, NORTH 17° 16' 17" EAST, 108.38 FEET TO A POINT FOR CORNER;

THENCE, NORTH 07° 51' 11" EAST, 780.71 FEET TO A POINT FOR CORNER ON THE NORTHERLY LINE OF THE AFOREMENTIONED 971.956 ACRE TRACT;

THENCE, SOUTH 81° 51' 19" EAST, WITH SAID NORTHERLY LINE, 1,365.32 FEET TO THE POINT OF BEGINNING AND CONTAINING 34.063 ACRES OF LAND.

18. THE MINIMUM SETBACK AND MINIMUM LOT FRONTAGE REQUIREMENTS ARE BASED ON THE MASTER PLAT INCLUDED AS EXHIBIT A WITHIN THE FIRST AMENDMENT TO DEVELOPMENT AGREEMENT EFFECTIVE SEPTEMBER 9, 2013.



KEY MAP NO. 612, 652, 653

FINAL PLAT OF POMONA SECTION 4

A SUBDIVISION OF 34.064 ACRES OF LAND SITUATED IN THE H.T. & B.R.R. CO. SURVEY SECTION 79, ABSTRACT 298 AND H.T. & B.R.R. CO. SURVEY SECTION 88 (A.K.A.) R.B. LYLE SURVEY, ABSTRACT 540, AND BEING A PORTION OF LOTS 7, 8 AND 9 OF SECTION 88 OF THE ALLISON RICHEY GULF COAST HOME COMPANY PART OF SUBURBAN GARDENS, A SUBDIVISION OF RECORD IN VOLUME 2, PAGE 98, PLAT RECORDS OF BRAZORIA COUNTY, TEXAS.

137 LOTS 5 RESERVE (3.33 ACRES) 5 BLOCKS
OCTOBER 23, 2014 JOB NO. 2149-4104-310

OWNERS:
MC 288, LLC
A DELAWARE LIMITED LIABILITY COMPANY
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