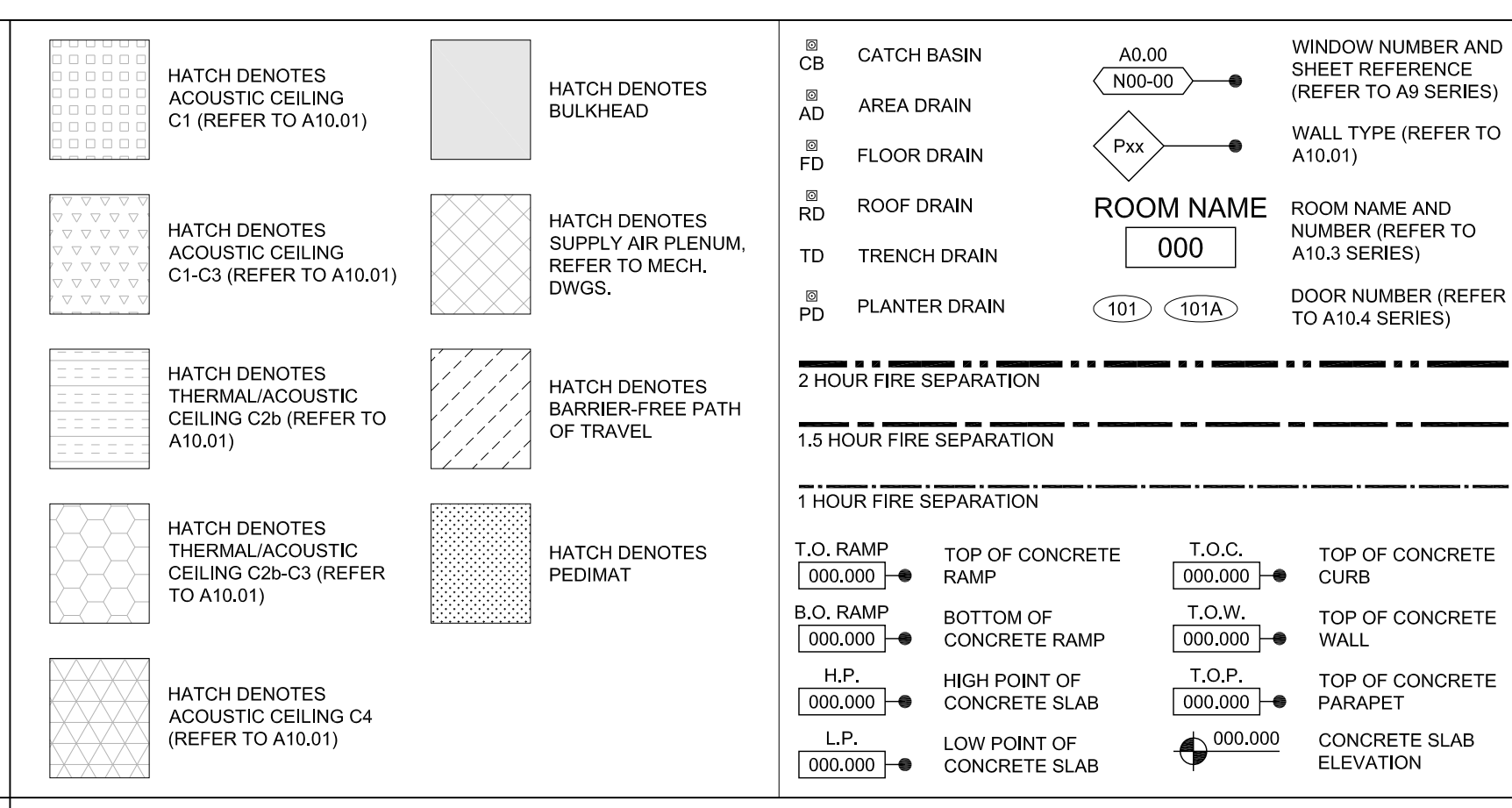
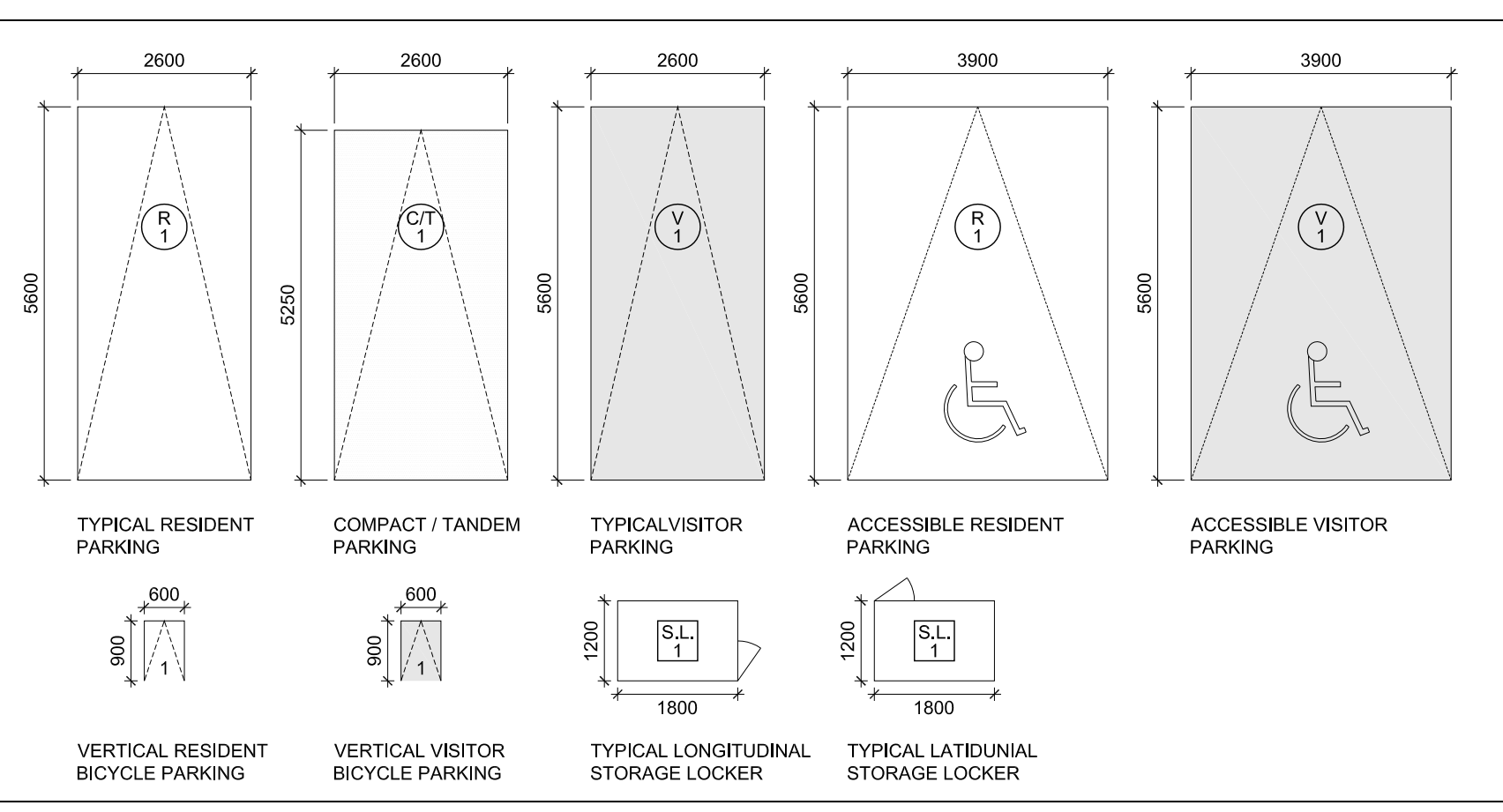


**GENERAL PARKING LEVEL NOTES**

- FOR ALL PARKING GARAGE REQUIREMENTS FOR PAINTING, LIGHTING, LEVELS, ETC. SEE NOTES "STORAGE GARAGE CONFORMANCE REQUIREMENTS" ON DRAWING.
- REFER TO INTERIOR DESIGN DRAWINGS FOR VESTIBULES, ELEVATOR LOBBIES, INTERIOR FINISHES AND SPECIFICATIONS.
- ALL AIR SHIFTS SHALL HAVE MINIMUM 2% SLOPE TOWARDS DRAINS. REFER TO SLAB EDGE DRAWINGS.
- ELEVATOR PIT TO HAVE MINIMUM 2% SLOPE TOWARDS DRAIN. REFER TO SLAB EDGE DRAWINGS.
- PROVIDE 30 x 20mm CHAMFER TO ALL CORNERS OF COLUMNS AND CONCRETE WALLS.
- REFER TO MECHANICAL DRAWINGS FOR SUMP PIT TYPES, SIZE AND CONSIDERATIONS. ALL SUMP PITS ARE TO BE PROVIDED WITH AIR TIGHT FRAMES AND COVERS.
- REFER TO MECHANICAL DRAWINGS FOR UNDER FLOOR DRAINAGE.
- REFER TO MECHANICAL DRAWINGS FOR SAW CUT PATTERN.
- PROVIDE BURNED NON-COMBUSTIBLE INSULATION TO UNDERSIDE OF GROUND FLOOR AS DENOTED BY SHADDED AREA.
- PROVIDE TRAFFIC TOPPING ON ALL PARKING LEVELS AS SPECIFIED. ADJUST CONCRETE TO SATISFY TRAFFIC TOPPING SYSTEM. PROVIDE ALUMINUM THRESHOLDS TO ACCOMMODATE TRANSITION FROM TRAFFIC TOPPING TO INTERIOR FINISH AT ALL DOORS FROM PARKING GARAGE TO COMMON AREAS (LOCKER ROOMS, LOBBIES AND VESTIBULES). FEATHER TRAFFIC TOPPING AS REQUIRED AT DOORS TO MECHANICAL ROOMS.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR EXHAUST AND STAIR LOUVER SIZE AND LOCATION.
- NO SERVICES SHALL BE ALLOWED TO PASS THROUGH OR PENETRATE ALL STAIR PRESSURIZATION SHAFT ENCLOSURES.
- PROVIDE ALL STORAGE, IDENTIFYING DEVICES AND HARDWARE AS REQUIRED BY TORONTO MUNICIPAL CODE PROPERTY STANDARDS 629-40, 629-41, 629-42 AND 629-43.
- ELEVATOR:
  - ELEVATOR SHAFT DIMENSIONS PROVIDED BY THE OWNER ON BEHALF OF THE ELEVATOR SUPPLIER. COORDINATE HOISTWAY DIMENSIONS AND RELAY REQUIREMENTS WITH REVIEWED ELEVATOR SHOP DRAWINGS.
  - ELEVATOR PITS TO BE COORDINATED WITH ELEVATOR SUPPLIER.
  - ELEVATOR SHAFT WALLS TO BE CONSTRUCTED TO ACHIEVE A MINIMUM FIRE RESISTANCE RATING OF 120 MINUTES.
  - AN APPROVED FIRE STOP MATERIAL IS TO BE USED TO SEAL INTERSECTION OF TOP OF CONCRETE BLOCK WALL AT FLOOR SLABS.
  - ELEVATOR PIT LADDERS TO EXTEND 1200mm ABOVE LANDING DOOR SILL. LADDERS TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR.
- LOCKER ROOM NOTES:
  - ALL LOCKER ABLES WIDTH TO BE 1100mm (MIN).
  - LOCKERS TO BE CONSTRUCTED WITH 1/2" WIRE MESH PARTITIONS MINIMUM 2100mm HIGH.
  - PROVIDE FIRE MESH DOOR AND CEILING. ALL WIRE MESH CEILINGS TO BE 450mm BELOW SPRINKLER DEFLECTOR THROUGHOUT.
  - PROVIDE LOCKER ROOM NOT PREPARED BY ARCHITECT AND INSTALLER TO PROVIDE INSTALLATION SHOP DRAWINGS FOR REVIEW BY OWNER AND ARCHITECT.



**ISSUANCE**

No.	Revision	Date	No.	Issued for	Date
1	PERMIT	2013.06.10	1	PERMIT	2013.06.10
2	PERMIT	2013.11.13	2	PERMIT	2013.11.13

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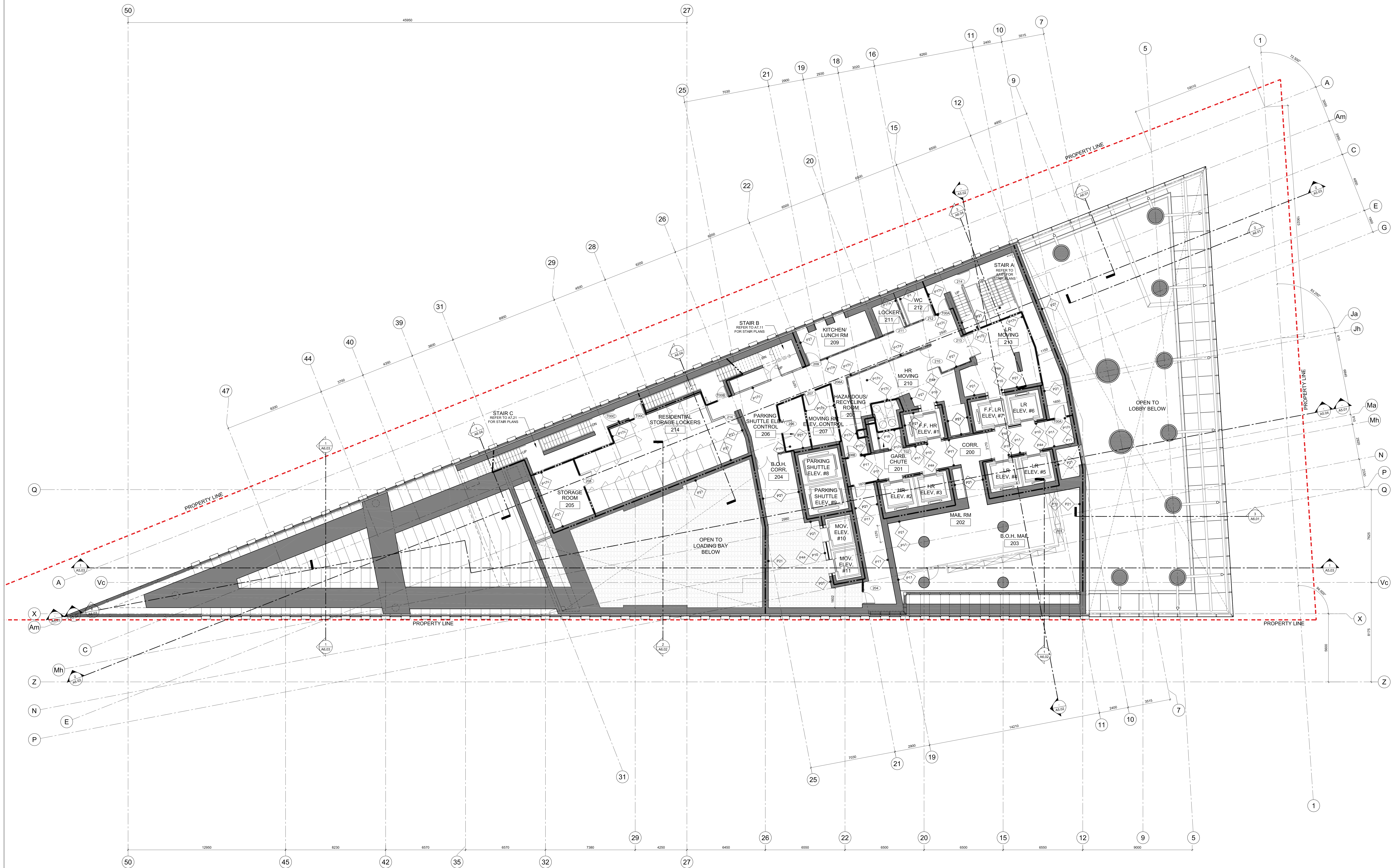
**TENYORK**  
RISING ABOVE IT ALL  
120 HARBOUR STREET & 10 YORK STREET  
TORONTO, ONTARIO  
**TRIDEL**  
4800 DUFFERIN STREET, TORONTO, ONTARIO, M3H 5S9  
1 416.967.3344 1 416.967.3588  
CONSTRUCTION FLOOR P1 MEZZANINE  
MUNICIPAL LEVEL A

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November 18, 2013  
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Client  
Title  
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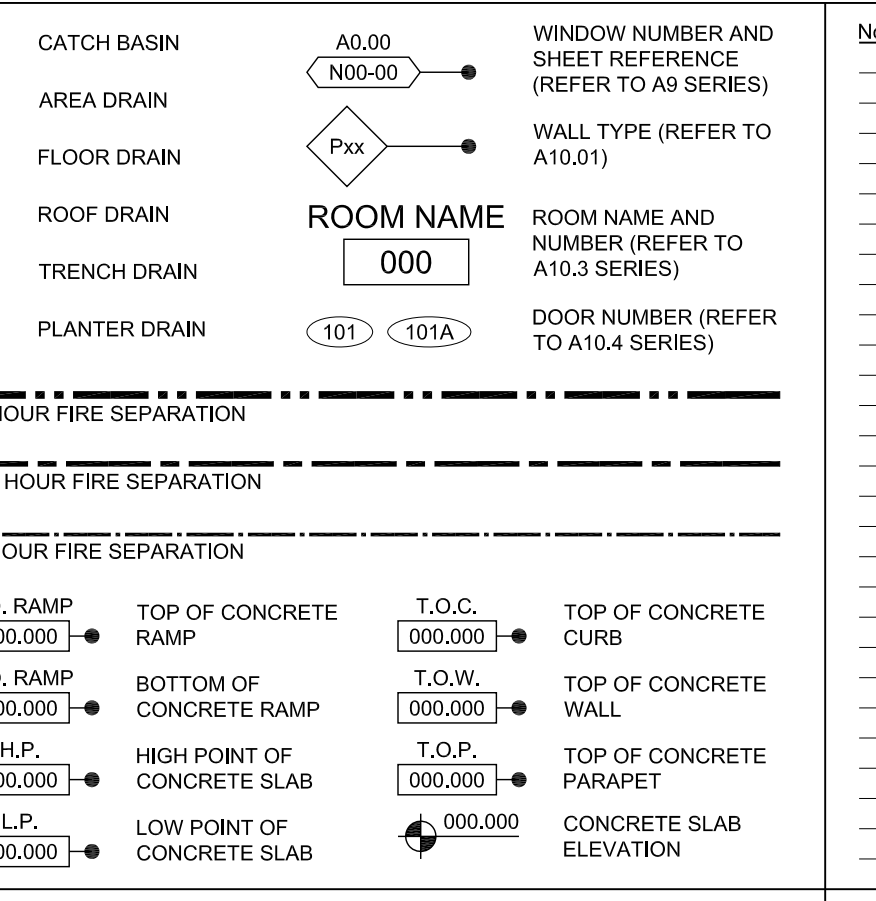
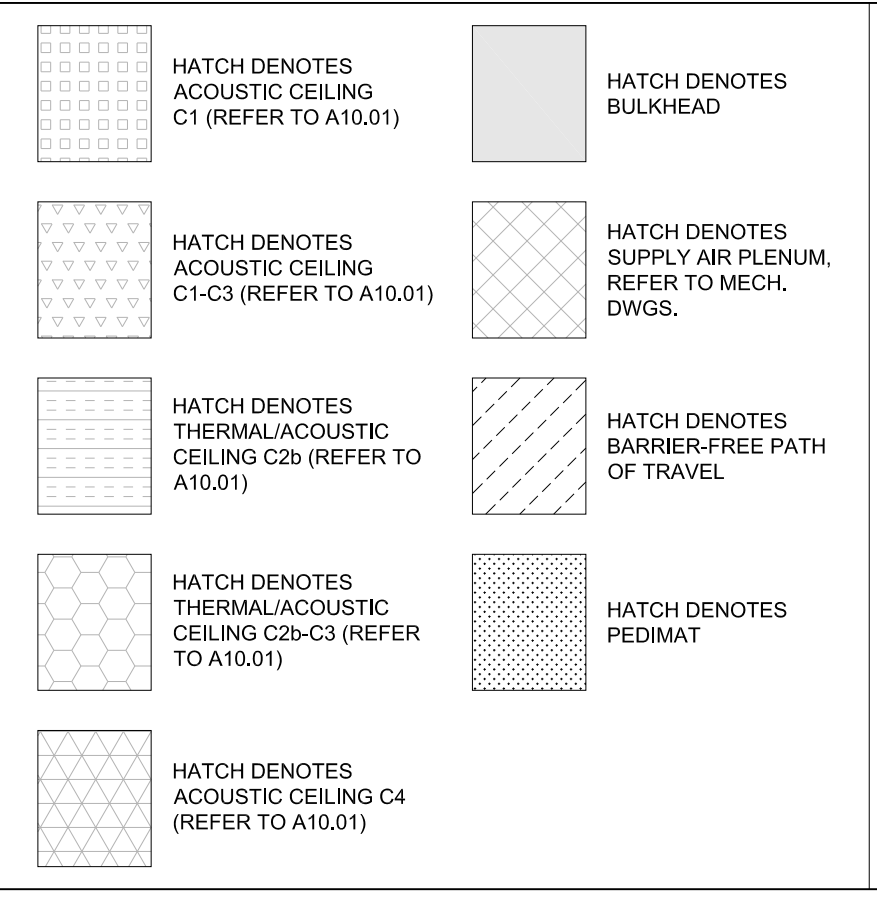
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- SHADED AREA DENOTES BULKHEAD/ROOF CEILING AT ALL RESIDENTIAL UNITS AS PER GENERAL LEGEND. REFER TO MECHANICAL DRAWINGS FOR COVERING OF HVAC DUCTS, DROP CEILING AND FURRING AS REQUIRED FOR INSTALLATION AND ENCLOSURE OF MECHANICAL AND ELECTRICAL SERVICES. REFER TO DETAIL CA10.01.
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- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL PIPES AND SHUTTLE SLEETS REQUIREMENTS.
- ALL BATHROOM CEILING TO BE CONSTRUCTED AS PER DETAIL CA10.01. PROVIDE ACOUSTICAL BATT IN ALL BATHROOM PIPE SPACES.

- NO SERVICES SHALL BE ALLOWED TO PENETRATE OR PASS THROUGH ALL STAIR PRESSURIZATION SHAFT ENCLOSURES.
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  - ALL LOCKER ABLES WIDTH TO BE 1100mm (MIN).
  - LOCKERS TO BE CONSTRUCTED WITH 1/2" x 4" WIRE MESH PARTITIONS MINIMUM 2100mm HIGH.
  - PROVIDE WIRE MESH DOOR AND CEILING. ALL WIRE MESH CEILING TO BE 450mm BELOW SPRINKLER DEFLECTOR THROUGHOUT. REVIEW LOCKER ROOM LAYOUT PREPARED BY ARCHITECT AND INSTALLER TO PROVIDE INSTALLATION SHOP DRAWINGS FOR REVIEW BY OWNER AND ARCHITECT.
- REFER TO DETAIL CA10.01 FOR LAYOUT OF FIRE RATED PARTITION AT FHC STANDOFFS.



No.	Revision	Date	No.	Issued for	Date
1	ADDENDUM 01 - WINDOWS	2014.03.11	1	PERMIT	2013.06.10
			2	PERMIT	2013.11.13
			3	WINDOW TENDER	2014.02.07
			4	WINDOW TENDER PRESSURE	2014.02.21

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GENERAL NOTES

GENERAL LEGEND

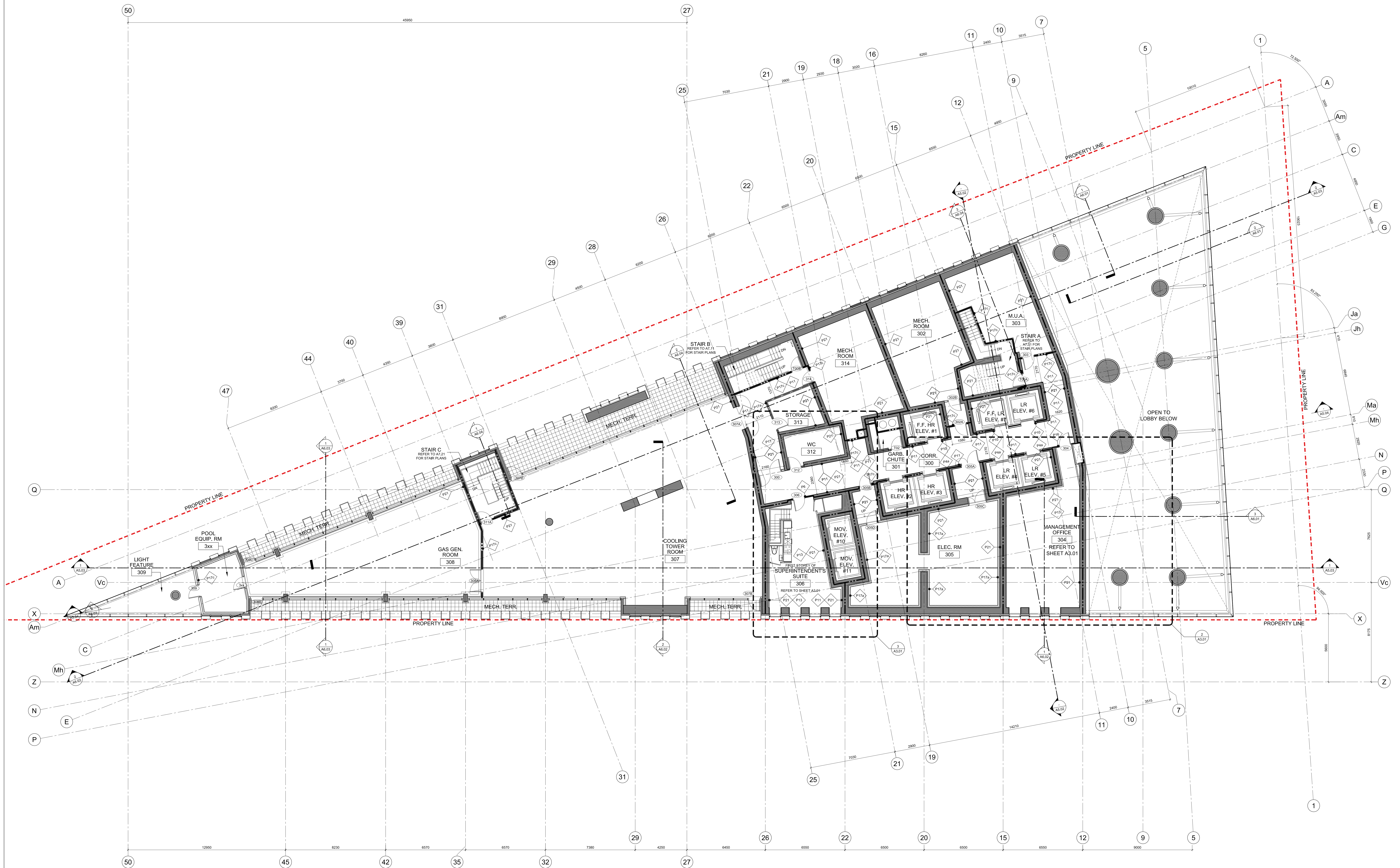
ISSUANCE

**TENYORK**  
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**TRIDEL**  
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CONSTRUCTION FLOOR 2  
MUNICIPAL LEVEL 2

Project No. 10-14  
March 11, 2014  
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Project Name  
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Sheet

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**A2.06**



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- REFER TO DETAIL WALL/AN FOR LAYOUT OF FIRE RATED PARTITION AT FHC STANDOFFS.

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|---|---|
| <p>HATCH DENOTES ACOUSTIC CEILING C1 (REFER TO A10.01)</p> <p>HATCH DENOTES ACOUSTIC CEILING C1-C3 (REFER TO A10.01)</p> <p>HATCH DENOTES THERMAL/ACOUSTIC CEILING C2 (REFER TO A10.01)</p> <p>HATCH DENOTES THERMAL/ACOUSTIC CEILING C3 (REFER TO A10.01)</p> <p>HATCH DENOTES ACOUSTIC CEILING C4 (REFER TO A10.01)</p> | <p>HATCH DENOTES BULKHEAD</p> <p>HATCH DENOTES SUPPLY AIR PLENUM (REFER TO MECH. DWGS.)</p> <p>HATCH DENOTES BARRIER-FREE PATH OF TRAVEL</p> <p>HATCH DENOTES PEDIMAT</p> |
|---|---|

- |  |  |   |
|--|--|---|
| <p>AD-00 CATCH BASIN</p> <p>AD-01 AREA DRAIN</p> <p>FD FLOOR DRAIN</p> <p>RD ROOF DRAIN</p> <p>TD TRENCH DRAIN</p> <p>PD PLANTER DRAIN</p> | <p>ROOM NAME AND NUMBER (REFER TO A10.3 SERIES)</p> <p>000</p> <p>101 102A</p> | <p>WINDOW NUMBER AND SHEET REFERENCE (REFER TO AS SERIES)</p> <p>WALL TYPE (REFER TO A10.01)</p> <p>DOOR NUMBER (REFER TO A10.4 SERIES)</p> |
|--|--|---|

- |   |   |   |
|---|---|---|
| <p>T.O. RAMP (000.000)</p> <p>B.O. RAMP (000.000)</p> <p>H.P. (000.000)</p> <p>L.P. (000.000)</p> | <p>T.O.P. (000.000)</p> <p>T.O.P. (000.000)</p> <p>T.O.P. (000.000)</p> <p>T.O.P. (000.000)</p> | <p>TOP OF CONCRETE CURB</p> <p>TOP OF CONCRETE WALL</p> <p>TOP OF CONCRETE PARAPET</p> <p>CONCRETE SLAB ELEVATION</p> |
|---|---|---|

No.	Revision	Date	No.	Issued for	Date
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GENERAL NOTES

GENERAL LEGEND

ISSUANCE

**TENYORK**  
RISING ABOVE IT ALL

120 HARBOUR STREET & 10 YORK STREET  
TORONTO, ONTARIO

**TRIDEL**

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CONSTRUCTION FLOOR 3  
MUNICIPAL LEVEL 3

Project Number

Client

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Project Number

Date

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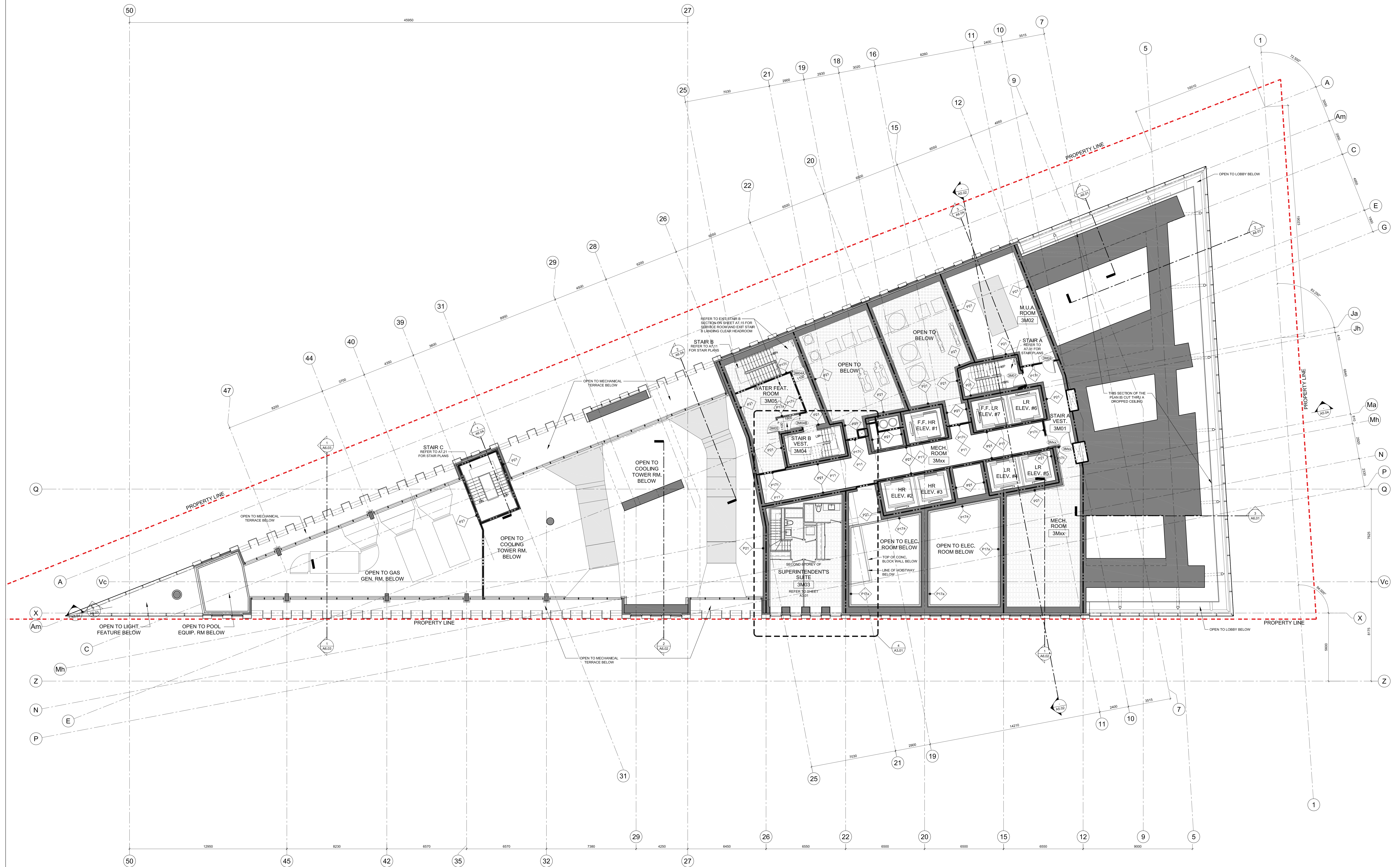
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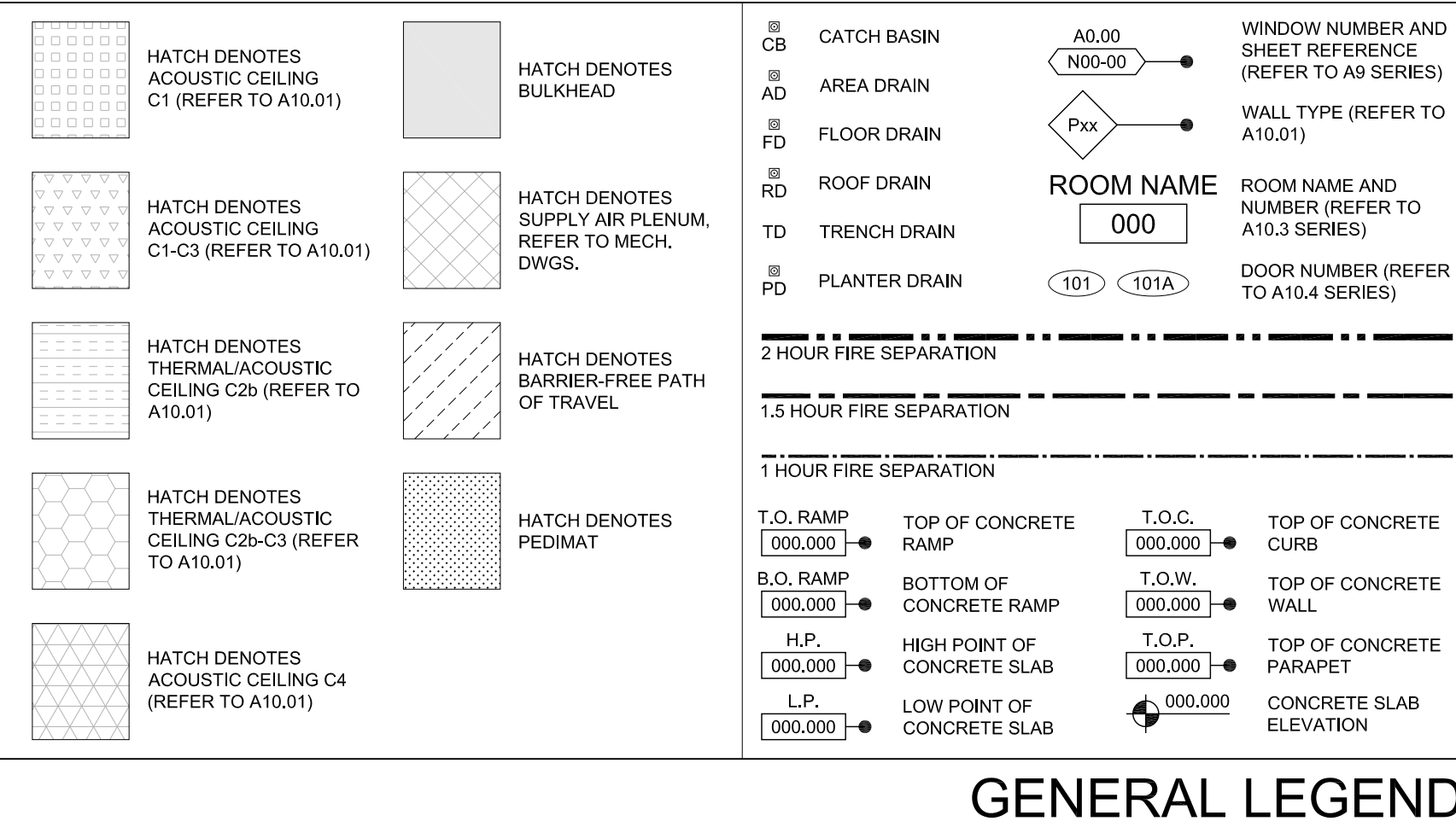
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March 11, 2014  
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A2.07



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GENERAL NOTES



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SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
AD.00	CATCH BASIN	TOP OF CONCRETE CURB	TOP OF CONCRETE CURB
AD	AREA DRAIN	CONCRETE RAMP	CONCRETE RAMP
FD	FLOOR DRAIN	TOP OF CONCRETE WALL	TOP OF CONCRETE WALL
RD	ROOF DRAIN	H.P.	HIGH POINT OF CONCRETE PARAPET
TD	TRENCH DRAIN	LP	LOW POINT OF CONCRETE SLAB
PD	PLANTER DRAIN	CONCRETE SLAB ELEVATION	CONCRETE SLAB ELEVATION

ISSUANCE

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CONSTRUCTION FLOOR 3 MEZZANINE  
MUNICIPAL LEVEL 3 MEZZANINE

Project Number: 10-14

Date: March 11, 2014

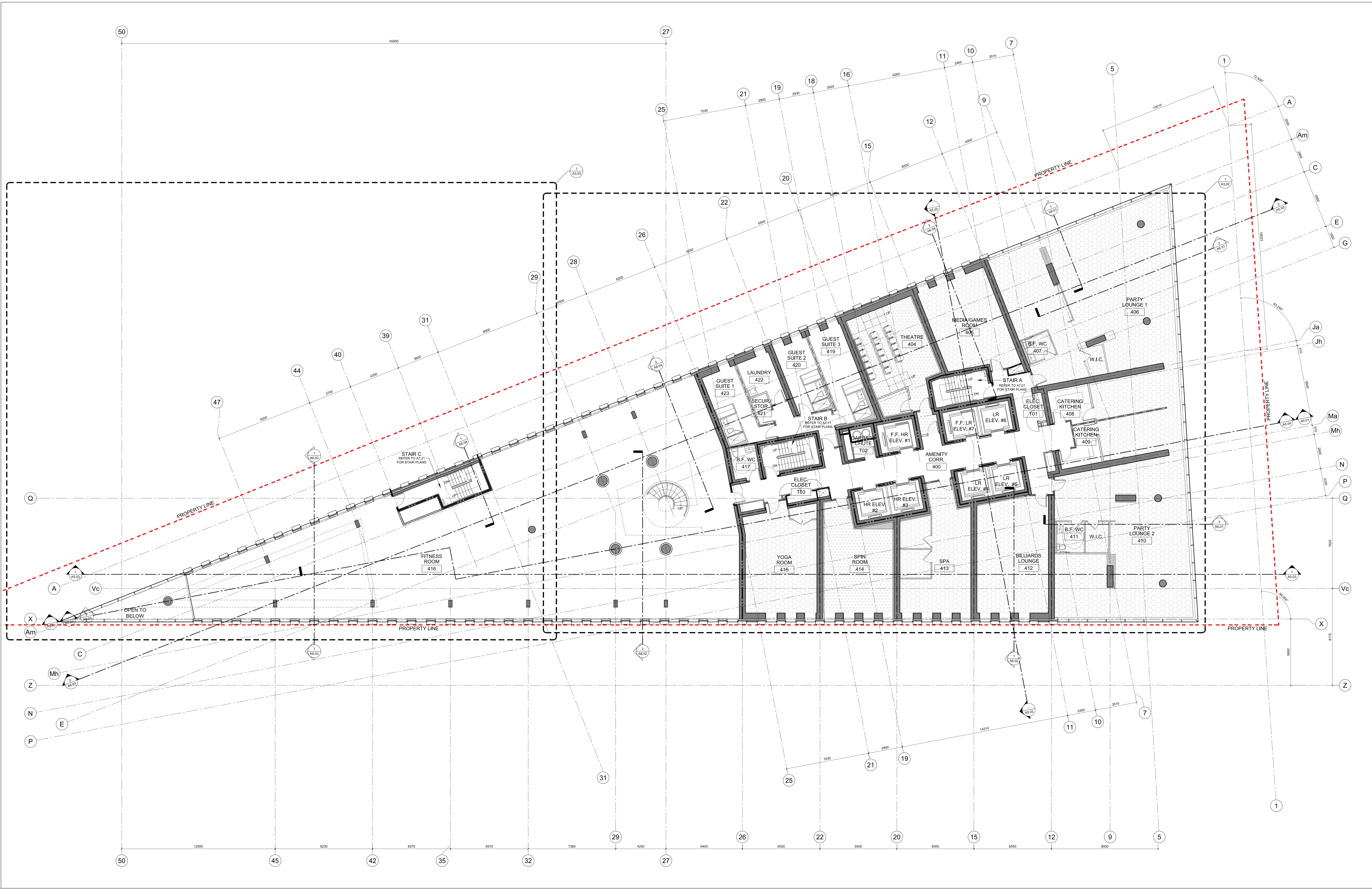
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GENERAL NOTES

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	HATCH DENOTES ACOUSTIC CEILING C2 (REFER TO A10.01)		HATCH DENOTES SUPPLY AIR PLENUM REFER TO MECH. DWGS.
	HATCH DENOTES THERMAL/ACOUSTIC CEILING C3 (REFER TO A10.01)		HATCH DENOTES BARRIER-FREE PATH OF TRAVEL
	HATCH DENOTES ACOUSTIC CEILING C4 (REFER TO A10.01)		HATCH DENOTES PEDIMENT

	CB CATCH BASIN		WINDOW NUMBER AND SHEET REFERENCE (REFER TO AS SERIES)
	AD AREA DRAIN		WALL TYPE (REFER TO A10.01)
	FD FLOOR DRAIN		ROOM NAME AND NUMBER (REFER TO A10.3 SERIES)
	RD ROOF DRAIN		DOOR NUMBER (REFER TO A10.4 SERIES)
	TD TRENCH DRAIN		
	PD PLANTER DRAIN		

	2-HOUR FIRE SEPARATION		1.5-HOUR FIRE SEPARATION
	1-HOUR FIRE SEPARATION		

	T.O. RAMP		T.O.C. CURB
	B.O. RAMP		T.O.W. WALL
	CONCRETE RAMP		H.P. HIGH POINT OF CONCRETE SLAB
	L.P. LOW POINT OF CONCRETE SLAB		CONCRETE SLAB ELEVATION

GENERAL LEGEND

No.	Revision	Date	No.	Issued for	Date
1	ADDENDUM 01 - WINDOWS	2014.03.11	1	PERMIT	2013.06.10
			2	PERMIT	2013.11.13
			3	WINDOW TENDER	2014.02.07
			4	WINDOW TENDER PRESSURE	2014.02.21

ISSUANCE

**TENYORK**  
RISING ABOVE IT ALL

**TRIDEL**

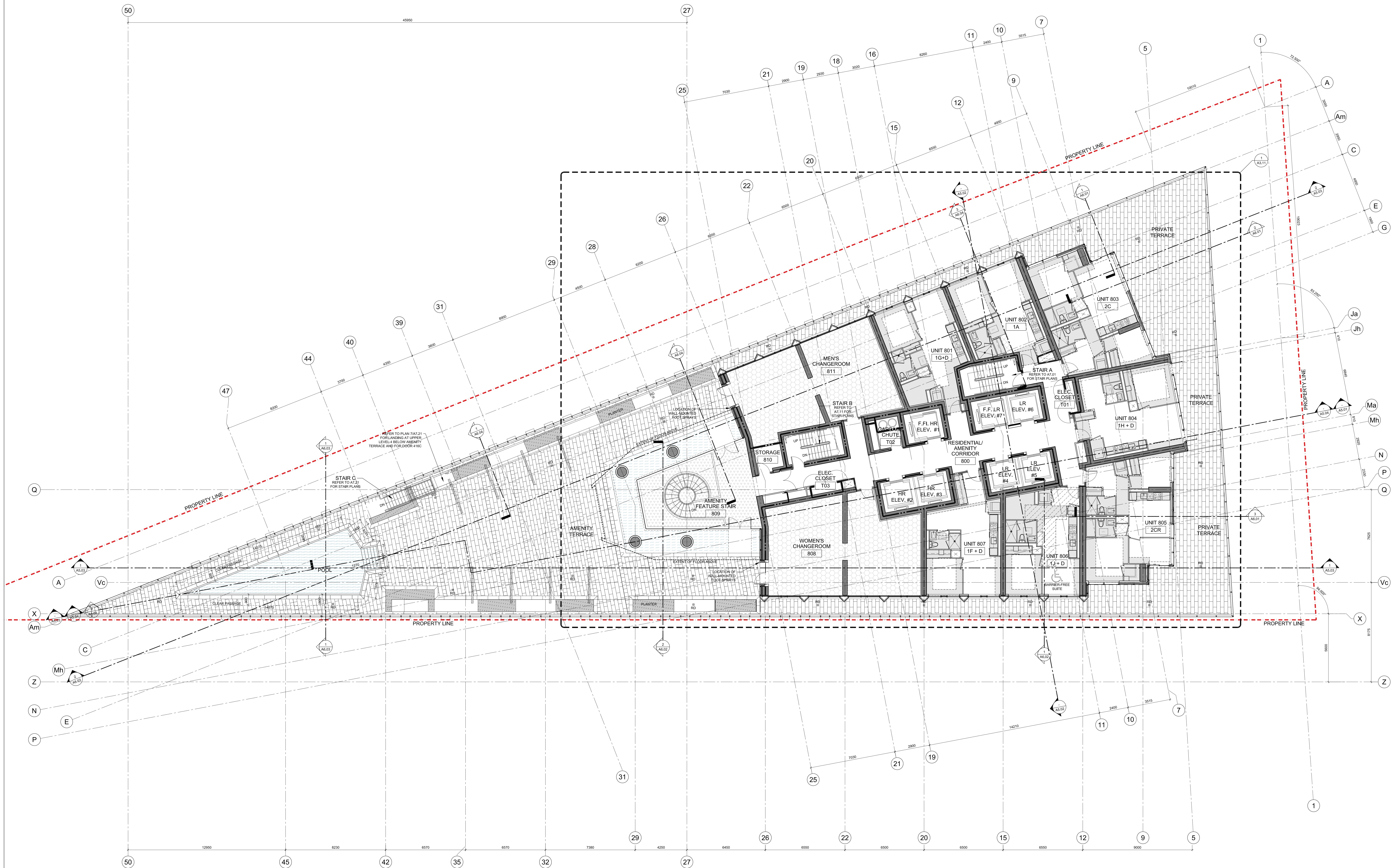
4800 DUFFERIN STREET, TORONTO, ONTARIO, M3H 5S9  
1.416.967.3344 1.416.967.3586

**CONSTRUCTION FLOOR 4 MUNICIPAL LEVEL 4**

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Toronto, Ontario M5V 2C3  
t 416 340 1870  
f 416 340 1871  
info@wallmanarchitects.com

10-14  
March 11, 2014  
1:100

**A2.09**



- SHADED AREA DENOTES BULKHEAD/ROOF CEILING AT ALL RESIDENTIAL UNITS AS PER GENERAL LEGEND. REFER TO MECHANICAL DRAWINGS FOR COVERING OF HVAC DUCTS, DROP CEILING AND FURRING AS REQUIRED FOR INSTALLATION AND ENCLOSURE OF MECHANICAL AND ELECTRICAL SERVICES. REFER TO DETAIL C2A10.01.
- ALL DIMENSIONS ARE TO GYPSUM WALL BOARD SURFACE.
- REFER TO INTERIOR DESIGN DRAWINGS FOR INTERIOR FINISHES AND SPECIFICATIONS.
- BALCONY SLABS AND CONCRETE SILL CONDITIONS TO BE SLOPED AWAY FROM BUILDING FOR DRAINAGE. PROVIDE SCUPPERS DRAIN FOR BALCONIES WITH CURBS. ALL TERRACES TO HAVE SCUPPERS OR AREA DRAINS. REFER TO PLANS FOR LOCATIONS.
- PROVIDE APPROVED SOUND INSULATION FOR HORIZONTAL AND VERTICAL PIPES THROUGH WALL AND FLOOR PENETRATIONS AS REQUIRED. REFER TO MECHANICAL DRAWINGS AND ACoustICAL REPORT.
- REFER TO ELEVATIONS AND WINDOW SCHEDULE FOR LOCATION OF WINDOW OPENING SECTION AND INSECT SCREEN.
- PROVIDE ALL FURRING SPACE AS REQUIRED FOR ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR LOCATION AND DETAILS.
- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL PIPES AND SHUNT SLEEVES REQUIREMENTS.
- ALL BATHROOM CEILING TO BE CONSTRUCTED AS PER DETAIL C2A10.01. PROVIDE ACOUSTICAL BATT IN ALL BATHROOM PIPE SPACES.
- NO SERVICES SHALL BE ALLOWED TO PENETRATE OR PASS THROUGH ALL STAIR PRESSURIZATION SHAFT ENCLOSURES.
- ELEVATOR
  - ELEVATOR SHAFT DIMENSIONS PROVIDED BY THE OWNER ON BEHALF OF THE ELEVATOR SUPPLIER. COORDINATE HOISTWAY DIMENSIONS AND RELATED REQUIREMENTS WITH REVIEWED ELEVATOR SHOP DRAWINGS.
  - ELEVATOR SHAFT WALLS TO BE CONSTRUCTED TO ACHIEVE A MINIMUM FIRE RESISTANCE RATING OF 120 MINUTES.
  - AN APPROVED FIRE STOP MATERIAL IS TO BE USED TO SEAL INTERSECTION OF TOP OF CONCRETE BLOCK WALL AT FLOOR SLABS.
  - ELEVATOR PIT LADDERS TO EXTEND 1200mm ABOVE LANDING DOOR SILL. LADDERS TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR.
- LOCKER ROOM NOTES:
  - ALL LOCKER ABLES WIDTH TO BE 1100mm (MIN).
  - LOCKERS TO BE CONSTRUCTED WITH 4" x 4" WIRE MESH PARTITIONS MINIMUM 2100mm HIGH.
  - PROVIDE WIRE MESH DOOR AND CEILING. ALL WIRE MESH CEILING TO BE 450mm BELOW SPRINKLER DEFLECTOR THROUGHOUT. REVIEW LOCKER ROOM LAYOUT PREPARED BY ARCHITECT AND INSTALLER TO PROVIDE INSTALLATION SHOP DRAWINGS FOR REVIEW BY OWNER AND ARCHITECT.
- REFER TO DETAIL C2A10.01 FOR LAYOUT OF FIRE RATED PARTITION AT FHC STANDPIPES.

GENERAL NOTES

	HATCH DENOTES ACOUSTIC CEILING C1 (REFER TO A10.01)		HATCH DENOTES BULKHEAD
	HATCH DENOTES ACOUSTIC CEILING C2 (REFER TO A10.01)		HATCH DENOTES SUPPLY AIR PLENUM REFER TO MECH. DWGS.
	HATCH DENOTES THERMAL/ACOUSTIC CEILING C3 (REFER TO A10.01)		HATCH DENOTES BARRIER-FREE PATH OF TRAVEL
	HATCH DENOTES ACOUSTIC CEILING C4 (REFER TO A10.01)		HATCH DENOTES PEDIMENT

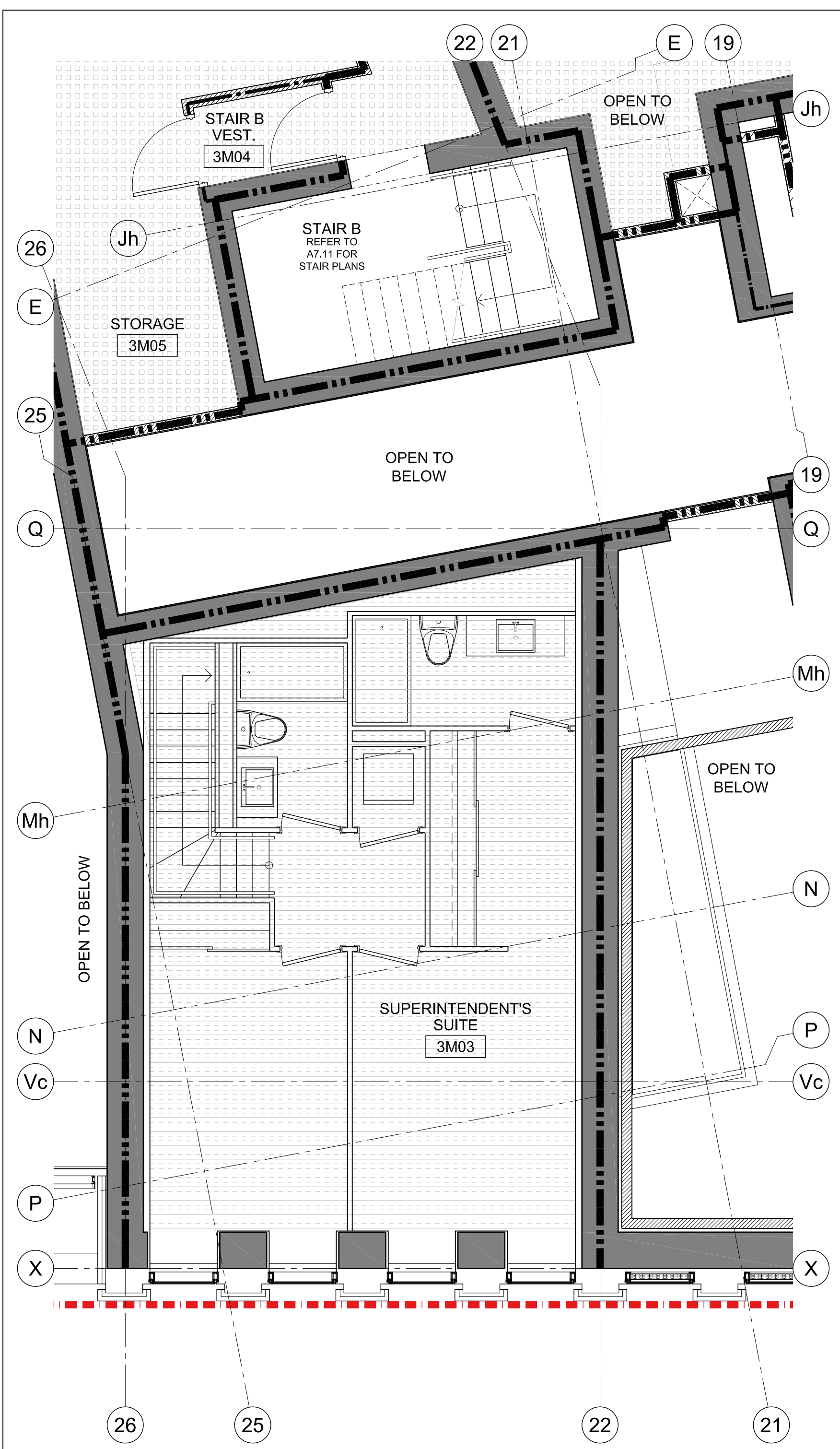
GENERAL LEGEND

CB	CATCH BASIN	A0.00	WINDOW NUMBER AND SHEET REFERENCE (REFER TO AS SERIES)
AD	AREA DRAIN	000.00	WALL TYPE (REFER TO A10.01)
FD	FLOOR DRAIN	PK	ROOM NAME AND NUMBER (REFER TO A10.3 SERIES)
RD	ROOF DRAIN	000	DOOR NUMBER (REFER TO A10.4 SERIES)
TD	TRENCH DRAIN	101	101A
PD	PLANTER DRAIN		
2 HOUR FIRE SEPARATION			
1.5 HOUR FIRE SEPARATION			
1 HOUR FIRE SEPARATION			
T.O. RAMP	TOP OF CONCRETE RAMP	T.O.C.	TOP OF CONCRETE CURB
B.O. RAMP	BOTTOM OF CONCRETE RAMP	T.O.W.	TOP OF CONCRETE WALL
L.P.	LOW POINT OF CONCRETE SLAB	H.P.	HIGH POINT OF CONCRETE PARAPET
L.P.	LOW POINT OF CONCRETE SLAB	T.O.P.	TOP OF MECHANICAL AND ELECTRICAL PARAPET
			CONCRETE SLAB ELEVATION

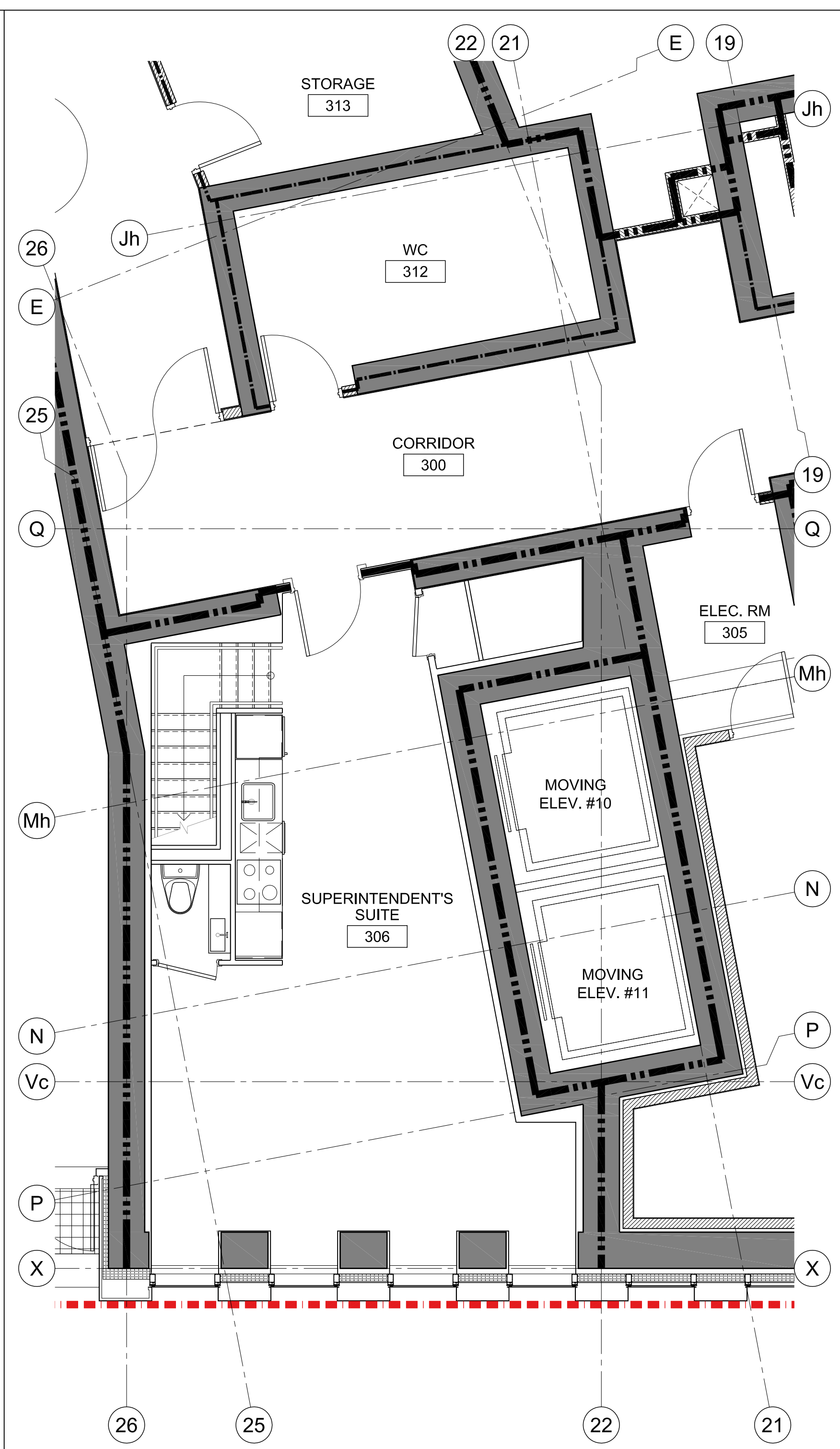
ISSUANCE

<p><b>TENYORK</b> RISING ABOVE IT ALL</p> <p>120 HARBOR STREET &amp; 10 YORK STREET TORONTO, ONTARIO</p> <p><b>TRIDEL</b></p> <p>4800 DUFFERIN STREET, TORONTO, ONTARIO, M3H 5S9 1.416.967.3344 1.416.967.3586</p> <p>CONSTRUCTION FLOOR 5 MUNICIPAL LEVEL B</p>	<p><b>WALLMANARCHITECTS</b></p> <p>30 Duncan Street, Suite 202 Toronto, Ontario M5V 2C3 t 416 340 1870 f 416 340 1871 info@wallmanarchitects.com</p>	<p>10-14 March 11, 2014 1:100</p>	<p>Project Name Project Number Date Scale Sheet</p>
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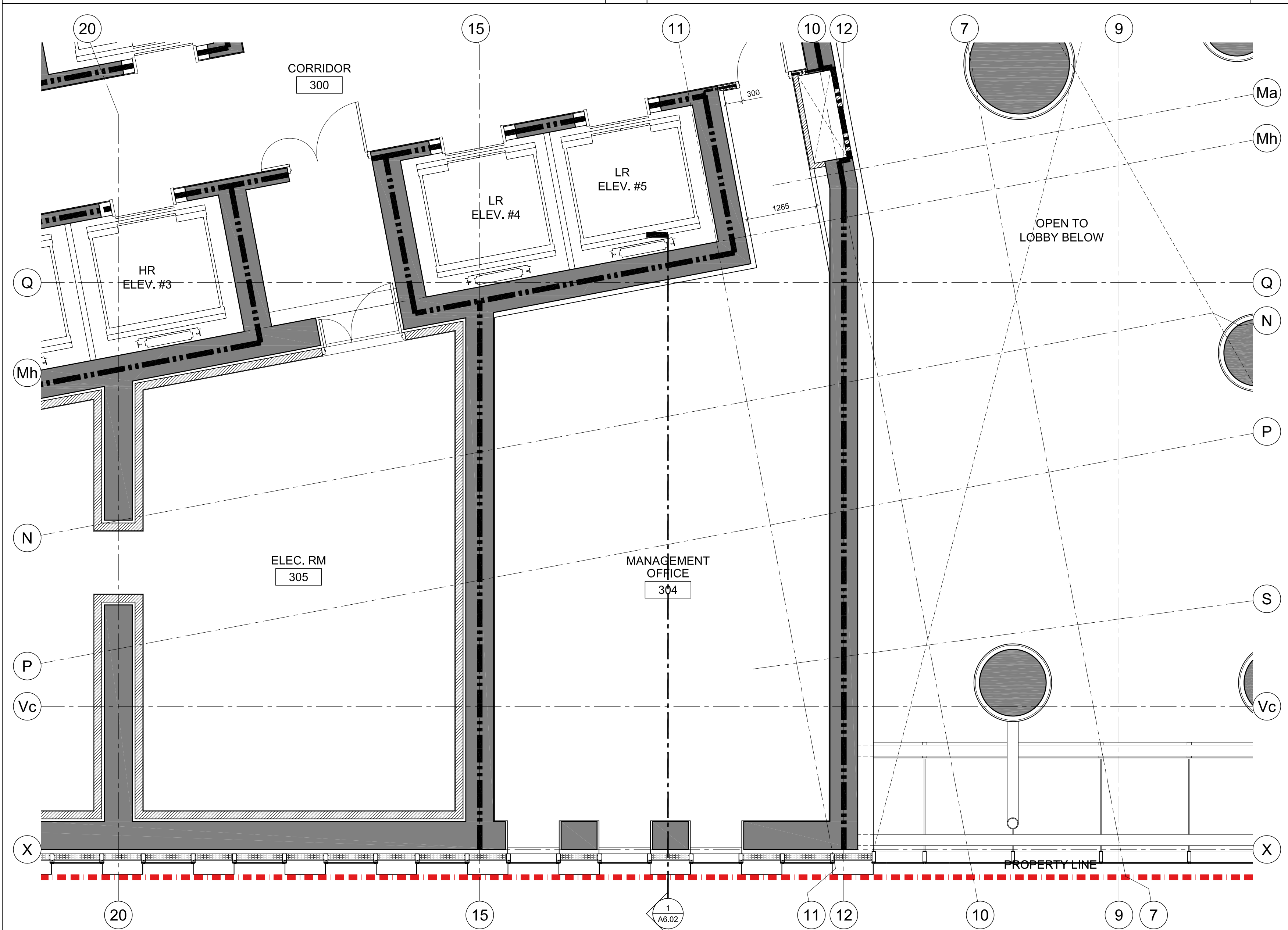
A2.10



LEVEL 3 MEZZ SUPER. SUITE 4



LEVEL 3 SUPERINTENDENT'S SUITE 3



LEVEL 3 MANAGEMENT OFFICE PARTIAL PLAN 2



LEVEL 1 RESIDENTIAL LOBBY PARTIAL PLAN 1

**GENERAL NOTES**

- SHADED AREA DENOTES BULKHEAD/ROOF CEILING AT ALL RESIDENTIAL UNITS AS PER GENERAL LEGEND. REFER TO MECHANICAL DRAWINGS FOR COVERING OF HVAC DUCTS, DROP CEILING AND FURNISHING AS REQUIRED FOR INSTALLATION AND ENCLOSURE OF MECHANICAL AND ELECTRICAL SERVICES. REFER TO DETAIL C2A10.01.
- ALL DIMENSIONS ARE TO GYPSUM WALL BOARD SURFACE.
- REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND SPECIFICATIONS.
- BALCONY SLABS AND CONCRETE SILL CONDITIONS TO BE SLOPED AWAY FROM BUILDING FOR DRAINAGE. PROVIDE SCUPPERS DRAIN FOR BALCONIES WITH CURBS. ALL TERRACES TO HAVE SCUPPERS OR AREA DRAINS. REFER TO PLANS FOR LOCATIONS.
- PROVIDE APPROVED SOUND INSULATION FOR HORIZONTAL AND VERTICAL PIPES THROUGH WALL AND FLOOR PENETRATIONS AS REQUIRED. REFER TO MECHANICAL DRAWINGS AND ACOUSTICAL REPORT.
- REFER TO ELEVATIONS AND WINDOW SCHEDULE FOR LOCATION OF WINDOW OPENING SECTION AND INSECT SCREEN.
- PROVIDE ALL FURNISHING SPACE AS REQUIRED FOR ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR LOCATION AND DETAILS.
- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL PIPES AND SHUNT LEADS REQUIREMENTS.
- ALL BATHROOM CEILING TO BE CONSTRUCTED AS PER DETAIL C2A10.01. PROVIDE ACOUSTICAL BATT IN ALL BATHROOM PIPE SPACES.
- NO SERVICES SHALL BE ALLOWED TO PENETRATE OR PASS THROUGH ALL STAIR PRESSURIZATION SHAFT ENCLOSURES.
- ELEVATOR:
  - ELEVATOR SHAFT DIMENSIONS PROVIDED BY THE OWNER ON BEHALF OF THE ELEVATOR SUPPLIER. COORDINATE HOISTWAY DIMENSIONS AND RELATED REQUIREMENTS WITH REVIEWED ELEVATOR SHOP DRAWINGS.
  - ELEVATOR PITS TO BE COORDINATED WITH ELEVATOR SUPPLIER.
  - ELEVATOR SHAFT WALLS TO BE CONSTRUCTED TO ACHIEVE A MINIMUM FIRE RESISTANCE RATING OF 120 MINUTES.
  - AN APPROVED FIRE STOP MATERIAL IS TO BE USED TO SEAL INTERSECTION OF TOP OF CONCRETE BLOCK WALL AT FLOOR SLABS.
  - ELEVATOR PIT LADDERS TO EXTEND 1200mm ABOVE LANDING DOOR SILL. LADDERS TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR.
- LOCKER ROOM NOTES:
  - ALL LOCKER ABLES WIDTH TO BE 1100mm (MIN).
  - LOCKERS TO BE CONSTRUCTED WITH 4" X 4" WIRE MESH PARTITIONS MINIMUM 2100mm HIGH.
  - PROVIDE WIRE MESH DOOR AND CEILING. ALL WIRE MESH CEILING TO BE 450mm BELOW SPRINKLER DEFLECTOR THROUGHOUT. REVERSE LOCKER ROOM LAYOUT PREPARED BY ARCHITECT AND INSTALLER TO PROVIDE INSTALLATION SHOP DRAWINGS FOR REVIEW BY OWNER AND ARCHITECT.
  - REFER TO DETAIL C2A10.01 FOR LAYOUT OF FIRE RATED PARTITION AT FHC STANDOFFS.

**GENERAL LEGEND**

	HATCH DENOTES ACOUSTIC CEILING C1 (REFER TO A10.01)		HATCH DENOTES BULKHEAD
	HATCH DENOTES ACOUSTIC CEILING C2-C3 (REFER TO A10.01)		HATCH DENOTES FIRE-RATED BARRIER-FREE PATH OF TRAVEL
	HATCH DENOTES THERMAL/ACOUSTIC CEILING C4 (REFER TO A10.01)		HATCH DENOTES PEDIMENT

**ROOM NAME**

AD	CATCH BASIN	AD-00	WINDOW NUMBER AND SHEET REFERENCE (REFER TO AS SERIES)
AD	AREA DRAIN	AD-00	WALL TYPE (REFER TO A10.01)
FD	FLOOR DRAIN	FD	ROOM NAME AND NUMBER (REFER TO A10.3 SERIES)
RD	ROOF DRAIN	RD	DOOR NUMBER (REFER TO A10.4 SERIES)
PD	PLANTER DRAIN	PD	

**2 HOUR FIRE SEPARATION**

T.O. RAMP	TOP OF CONCRETE RAMP	T.O.C.	TOP OF CONCRETE CURB
B.O. RAMP	BOTTOM OF CONCRETE RAMP	T.O.W.	TOP OF CONCRETE WALL
H.P.	HIGH POINT OF CONCRETE SLAB	L.P.	LOW POINT OF CONCRETE SLAB
			CONCRETE SLAB ELEVATION

No.	Revision	Date	No.	Issued for	Date
1	PERMIT	2013.06.10			
2	PERMIT	2013.11.13			

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**TENYORK**  
RISING ABOVE IT ALL

120, 130 HARBOUR STREET & 10 YORK STREET  
TORONTO, ONTARIO

**TRIDEL**

4800 DUFFERIN STREET, TORONTO, ONTARIO, M3H 5S9  
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November 18, 2013  
1:50

**A3.01**





- SHADED AREA DENOTES BULKHEAD/ROOF CEILING AT ALL RESIDENTIAL UNITS AS PER GENERAL LEGEND. REFER TO MECHANICAL DRAWINGS FOR COVERING OF HVAC DUCTS, DROP CEILING AND FURNISHING AS REQUIRED FOR INSTALLATION AND ENCLOSURE OF MECHANICAL AND ELECTRICAL SERVICES. REFER TO DETAIL CA14.01.
- ALL DIMENSIONS ARE TO GYPSUM WALL BOARD SURFACE.
- REFER TO INTERIOR DESIGN DRAWINGS FOR INTERIOR FINISHES AND SPECIFICATIONS.
- BALCONY SLABS AND CONCRETE SILL CONDITIONS TO BE SLOPED AWAY FROM BUILDING FOR DRAINAGE. PROVIDE SCUPPERS OR AREA DRAINS. REFER TO PLANS FOR LOCATIONS.
- PROVIDE APPROVED SOUND INSULATION FOR HORIZONTAL AND VERTICAL PIPES THROUGH WALL AND FLOOR PENETRATIONS AS REQUIRED. REFER TO MECHANICAL DRAWINGS AND ACoustICAL REPORT.
- REFER TO ELEVATIONS AND WINDOW SCHEDULE FOR LOCATION OF WINDOW OPENING SECTION AND INSECT SCREEN.
- PROVIDE ALL FURNISHING SPACE AS REQUIRED FOR ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR LOCATION AND DETAILS.
- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL PIPES AND SHUNT LINES REQUIREMENTS.
- ALL BATHROOM CEILING TO BE CONSTRUCTED AS PER DETAIL CA16.01. PROVIDE ACOUSTICAL BATT IN ALL BATHROOM PIPE SPACES.
- NO SERVICES SHALL BE ALLOWED TO PENETRATE OR PASS THROUGH ALL STAIR PRESSURIZATION SHAFT ENCLOSURES.
- ELEVATOR
  - ELEVATOR SHAFT DIMENSIONS PROVIDED BY THE OWNER ON BEHALF OF THE ELEVATOR SUPPLIER. COORDINATE HOISTWAY DIMENSIONS AND RELATED REQUIREMENTS WITH REVIEWED ELEVATOR SHOP DRAWINGS.
  - ELEVATOR FITS TO BE COORDINATED WITH ELEVATOR SUPPLIER.
  - ELEVATOR SHAFT WALLS TO BE CONSTRUCTED TO ACHIEVE A MINIMUM FIRE RESISTANCE RATING OF 120 MINUTES.
  - AN APPROVED FIRE STOP MATERIAL IS TO BE USED TO SEAL INTERSECTION OF TOP OF CONCRETE BLOCK WALL AT FLOOR SLAB.
  - ELEVATOR PIT LADDERS TO EXTEND 1200mm ABOVE LANDING DOOR SILL. LADDERS TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR.
- LOCKER ROOM NOTES:
  - ALL LOCKER CABLES WIDTH TO BE 1100mm (MIN).
  - LOCKERS TO BE CONSTRUCTED WITH 4" X 4" WIRE MESH PARTITIONS MINIMUM 2100mm HIGH.
  - PROVIDE WIRE MESH DOOR AND CEILING. ALL WIRE MESH CEILING TO BE 450mm BELOW SPRINKLER DEFLECTOR THROUGHOUT.
  - PROVIDE LOCKER ROOM LAYOUT PREPARED BY ARCHITECT AND INSTALLER TO PROVIDE INSTALLATION SHOP DRAWINGS FOR REVIEW BY OWNER AND ARCHITECT.
- REFER TO DETAIL CA14.01 FOR LAYOUT OF FIRE RATED PARTITION AT FHC STANDPIPES.

**GENERAL NOTES**

Symbol	Description	Symbol	Description
[Hatch]	HATCH DENOTES ACOUSTIC CEILING (C) (REFER TO A10.01)	[Hatch]	HATCH DENOTES BULKHEAD
[Hatch]	HATCH DENOTES ACOUSTIC CEILING (C1) (REFER TO A10.01)	[Hatch]	HATCH DENOTES SUPPLY AIR PLENUM (REFER TO MECH. DWGS.)
[Hatch]	HATCH DENOTES THERMAL/ACOUSTIC CEILING (C2) (REFER TO A10.01)	[Hatch]	HATCH DENOTES BARRIER-FREE PATH OF TRAVEL
[Hatch]	HATCH DENOTES ACOUSTIC CEILING (C4) (REFER TO A10.01)	[Hatch]	HATCH DENOTES PEDIAMENT
[Symbol]	1.0 HOUR FIRE SEPARATION	[Symbol]	2.0 HOUR FIRE SEPARATION
[Symbol]	1.5 HOUR FIRE SEPARATION	[Symbol]	2.0 HOUR FIRE SEPARATION
[Symbol]	1.0 HOUR FIRE SEPARATION	[Symbol]	2.0 HOUR FIRE SEPARATION
[Symbol]	1.5 HOUR FIRE SEPARATION	[Symbol]	2.0 HOUR FIRE SEPARATION

Room Name	Room Number	Room Name	Room Number
STAIR A	A720	STAIR B	A771
STAIR C	A772	STAIR D	A773
STAIR E	A774	STAIR F	A775
STAIR G	A776	STAIR H	A777
STAIR I	A778	STAIR J	A779
STAIR K	A780	STAIR L	A781
STAIR M	A782	STAIR N	A783
STAIR O	A784	STAIR P	A785
STAIR Q	A786	STAIR R	A787
STAIR S	A788	STAIR T	A789
STAIR U	A790	STAIR V	A791
STAIR W	A792	STAIR X	A793
STAIR Y	A794	STAIR Z	A795

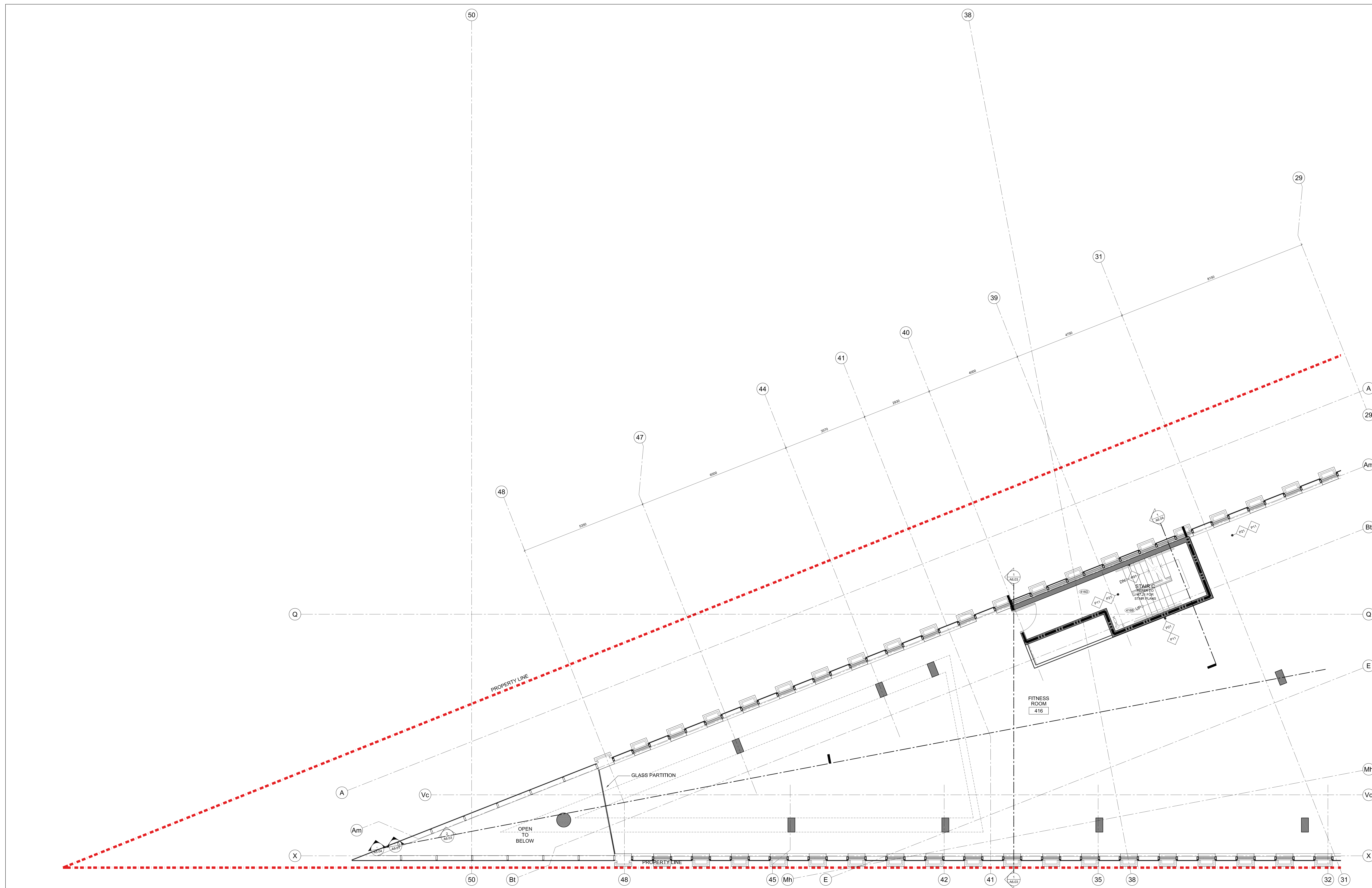
**WALLMAN ARCHITECTS**  
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**TENYORK**  
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**TRIDEL**  
 4800 DUFFERIN STREET, TORONTO, ONTARIO, M3H 5S9  
 1 416.967.3344 1 416.967.5986

**CONSTRUCTION FLOOR 4**  
 MUNICIPAL LEVEL 4  
 EAST PARTIAL FLOOR PLAN

10-14  
 November 18, 2013  
 1:50

**A3.02**



1. SHADER AREA DENOTES BULKHEAD/ROOF CEILING AT ALL RESIDENTIAL UNITS AS PER GENERAL LEGEND. REFER TO MECHANICAL DRAWINGS FOR COVERING OF HVAC DUCTS, DROP CEILING AND FURRING AS REQUIRED FOR INSTALLATION AND ENCLOSURE OF MECHANICAL AND ELECTRICAL SERVICES. REFER TO DETAIL GA16.01.

2. ALL DIMENSIONS ARE TO GYPSUM WALL BOARD SURFACE.

3. REFER TO INTERIOR DESIGN DRAWINGS FOR INTERIOR FINISHES AND SPECIFICATIONS.

4. BALCONY SLABS AND CONCRETE SILL CONDITIONS TO BE SLOPED AWAY FROM BUILDING FOR DRAINAGE. PROVIDE SCUPPERS OR AREA DRAINS WITH CURBS. ALL TERRACES TO HAVE SCUPPERS OR AREA DRAINS. REFER TO PLANS FOR LOCATIONS.

5. PROVIDE APPROVED SOUND INSULATION FOR HORIZONTAL AND VERTICAL PIPES THROUGH WALL AND FLOOR PENETRATIONS AS REQUIRED. REFER TO MECHANICAL DRAWINGS AND ACOUSTICAL REPORT.

6. REFER TO ELEVATIONS AND WINDOW SCHEDULE FOR LOCATION OF WINDOW OPENING SECTION AND INSET SCREEN.

7. PROVIDE ALL FURRING SPACE AS REQUIRED FOR ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS FOR LOCATION AND DETAILS.

8. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL PIPES AND SHUNT SLEEVES REQUIREMENTS.

9. ALL BATHROOM CEILING TO BE CONSTRUCTED AS PER DETAIL GA16.01. PROVIDE ACOUSTICAL BATT IN ALL BATHROOM PIPE SPACES.

10. NO SERVICES SHALL BE ALLOWED TO PENETRATE OR PASS THROUGH ALL STAIR PRESSURIZATION SHAFT ENCLOSURES.

11. ELEVATOR

A. ELEVATOR SHAFT DIMENSIONS PROVIDED BY THE OWNER ON BEHALF OF THE ELEVATOR SUPPLIER. COORDINATE HOISTWAY DIMENSIONS AND RELATED REQUIREMENTS WITH REVIEWED ELEVATOR SHOP DRAWINGS.

B. ELEVATOR PITS TO BE COORDINATED WITH ELEVATOR SUPPLIER.

C. ELEVATOR SHAFT WALLS TO BE CONSTRUCTED TO ACHIEVE A MINIMUM FIRE RESISTANCE RATING OF 120 MINUTES.

D. AN APPROVED FIRE STOP MATERIAL IS TO BE USED TO SEAL INTERSECTION OF TOP OF CONCRETE BLOCK WALL AT FLOOR SLABS.

E. ELEVATOR PIT LADDERS TO EXTEND 1200mm ABOVE LANDING DOOR SILL. LADDERS TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR.

12. LOCKER ROOM NOTES:

A. ALL LOCKER ABLES WIDTH TO BE 1100mm (MIN).

B. LOCKERS TO BE CONSTRUCTED WITH 4" x 4" WIRE MESH PARTITIONS MINIMUM 2100mm HIGH.

C. PROVIDE WIRE MESH DOOR AND CEILING. ALL WIRE MESH CEILING TO BE 450mm BELOW SPRINKLER DEFLECTOR THROUGHOUT. PROVIDE LOCKER ROOM LAYOUT PREPARED BY ARCHITECT AND INSTALLER TO PROVIDE INSTALLATION SHOP DRAWINGS FOR REVIEW BY OWNER AND ARCHITECT.

13. REFER TO DETAIL GA16.04 FOR LAYOUT OF FIRE RATED PARTITION AT FHC STANDPIPES.

HATCH DENOTES ACOUSTIC CEILING C1 (REFER TO A10.01)

HATCH DENOTES THERMAL/ACOUSTIC CEILING C2-C3 (REFER TO A10.01)

HATCH DENOTES THERMAL/ACOUSTIC CEILING C4 (REFER TO A10.01)

HATCH DENOTES BULKHEAD

HATCH DENOTES SUPPLY AIR PLENUM (REFER TO MECH. DWGS.)

HATCH DENOTES BARRIER-FREE PATH OF TRAVEL

HATCH DENOTES PEDIMAT

II CATCH BASIN

III AREA DRAIN

IV FLOOR DRAIN

V ROOF DRAIN

VI TRENCH DRAIN

VII PLANTER DRAIN

2 HOUR FIRE SEPARATION

1.5 HOUR FIRE SEPARATION

1 HOUR FIRE SEPARATION

T.O. RAMP

B.O. RAMP

H.P.

L.P.

T.O.C. TOP OF CONCRETE CURB

T.O.W. TOP OF CONCRETE WALL

T.O.P. TOP OF CONCRETE PARAPET

C.S. CONCRETE SLAB ELEVATION

ROOM NAME AND NUMBER REFER TO A10.3 SERIES

ROOM NAME AND NUMBER REFER TO A10.4 SERIES

WINDOW NUMBER AND SHEET REFERENCE (REFER TO AS SERIES)

WALL TYPE (REFER TO A10.01)

DOOR NUMBER (REFER TO A10.4 SERIES)

No.	Section	Date	No.	Issued for	Date
1	PERMIT	2013.06.10	1	PERMIT	2013.06.10
2	PERMIT	2013.11.13	2	PERMIT	2013.11.13

No.	Section	Date	No.	Issued for	Date
1	PERMIT	2013.06.10	1	PERMIT	2013.06.10
2	PERMIT	2013.11.13	2	PERMIT	2013.11.13

10-14

November 18, 2013

1:50

**TENYORK**  
RISING ABOVE IT ALL

120 HARBOR STREET & 10 YORK STREET  
TORONTO, ONTARIO

**TRIDEL**

4800 DUFFERIN STREET, TORONTO, ONTARIO, M3H 5S9  
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**WALLMANARCHITECTS**

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f 416 340 1871  
info@wallmanarchitects.com

**CONSTRUCTION FLOOR 4  
MUNICIPAL LEVEL 4  
WEST PARTIAL FLOOR PLAN**

Project Number: \_\_\_\_\_  
Date: \_\_\_\_\_  
Scale: \_\_\_\_\_  
Sheet: \_\_\_\_\_

**A3.03**

GENERAL NOTES

GENERAL LEGEND

ISSUANCE



Hefele Makowka Design Associates Inc.

## **Interior Finishes Specifications**



**Argento**  
*Life's silver lining.*

**Project No.: 11-302**

**Prepared By:**  
**Hefele Makowka Design Associates Inc.**  
146 Laird Drive  
Suite 301  
Toronto, Ontario  
M4G 3V7

**Contact: Margit Hefele**  
tel: (416) 944-0802  
fax: (416) 944-0836

e-mail: [info@hminteriordesign.com](mailto:info@hminteriordesign.com)

**Re-Issued for Carpet Tender with added Winter Carpet – March 26, 2014**

**Re-Issued for Interior Finishes Tender – March 13, 2014**

**Issued for Interior Finishes Tender – November 14, 2013**

**General Note:**

**All area denotations noted in this Finishes Specification Manual must be verified and confirmed with the Room/Door Finishes Schedules, Finishes Plans, Elevations and Details. Any discrepancies are to be brought to the designer's attention prior to costing, ordering of any product.**



Hefele Makowka Design Associates Inc.

**Specifications**  
**Project: Argento Condo**

**Page No.: 2**  
**Project No. 11-302**

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## **Index**

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<b><u>Section</u></b>	<b><u>Item</u></b>	<b><u>Page No.</u></b>
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	1.2 Legend of Finishes Symbols	<b>5</b>
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## **Section 1.0**

## **General Instructions and Legend**

---

### **1.1 General Notes to Suppliers & Installers**

- 1. Contractor must verify all dimensions and site conditions, and advise Designer of any discrepancies. Drawings not to be scaled.**
- 2. Finishes Specification Manual is to be used in conjunction with all Working Drawings and Details.**
- 3. All work shall conform to all applicable governing Codes and building requirements. Contractor to advise Designer immediately of any contravention of Building Codes prior to proceeding with work.**
- 4. All wood solids and veneers to be fire-rated as necessary to meet all Building Code and Fire Code Regulations.**
- 5. Provide adequate blocking and reinforcing in walls where millwork, fixtures and equipment are to be installed.**
- 6. General Contractor to provide shop drawings for all millwork, counters, built-ins, manufactured items, etc. for review and approval by Hefele Makowka Design Associates Inc.**
- 7. Verify all dimensions on site prior to production of Shop Drawings and prior to proceeding with work.**
- 8. The Designer is to approve all finishes and materials prior to installation.**



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## **Section 1.0**

## **General Instructions and Legend**

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### **1.1 General Notes to Suppliers & Installers**

#### **9. Samples**

- a) **The Contractor shall submit samples to the Designers as required in each section of the specifications in sufficient time to permit review and approval.**
- b) **All samples shall be delivered to the Designers or to the site at the request of the Designers.**
- c) **The approved samples shall be retained and used for control samples and the Contractor shall remove the rejected samples.**
- d) **Where samples are rejected, new samples shall be submitted as soon as possible after notification of rejection.**
- e) **The cost of all samples shall be borne by the Contractor.**

#### **General Note:**

**The Designer shall not warrant or be responsible for the quality of materials / articles, specified for / or installed in the Client's premises: or for structural conditions of said premises; or for acts, work, or services of any employee or contractor of the Client.**

#### **General Note:**

**All area denotations noted in this Finishes Specification Manual must be verified and confirmed with the Room/Door Finishes Schedules, Finishes Plans, Elevations and Details. Any discrepancies are to be brought to the designer's attention prior to costing and/or ordering of any product.**



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## **Section 1.0**

## **General Instructions and Legend**

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### **1.2 Legend of Finishes Symbols**

- ACT-** Denotes Acoustical Tile & Stretched Ceiling
- C-** Denotes Carpet
- CT-** Denotes Ceramic Tile
- GS-** Denotes Granite Slab
- GT-** Denotes Granite Tile
- HW-** Denotes Hardwood Floor
- M-** Denotes Metal
- MR-** Denotes Mirror
- MS-** Denotes Marble Slab
- MT-** Denotes Marble Tile
- P-** Denotes Paint Finish
- PL-** Denotes Plastic Laminate
- S-** Denotes Wood Type & Stain Finish
- SC-** Denotes Solid Surface
- VB-** Denotes Vinyl Base
- VT-** Denotes Vinyl Tile
- W-** Denotes Wallcovering
- WA-** Denotes Washroom Accessory



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## **Section 2.0**

## **Wall, Ceiling and Floor Finishes**

---

### **2.1 General Notes – Wall and Ceiling Finishes**

- 1. Refer to Room Finishes Schedules, Reflected Ceiling Plans, Elevations, Details and Millwork Drawings.**
- 2. Contractor to verify all site conditions and dimensions prior to ordering and installation.**
- 3. All surfaces must be smooth, dry, and free from dust and grease and carefully prepared for any good quality wallcovering.**
- 4. Application of prime coats and finish coats shall follow faithfully the highest industry standards and procedures.**
- 5. All gypsum board shall receive one coat of sealer primer and two coats of finish paint.**
- 6. Co-ordinate with the Designers for each colour and finish, a test location on-site for the approval of the paint colours. The Designers may request reasonable adjustments to the paint colour even though the applied test area matches the drawn down sample.**
- 7. Absorbent walls should be sized.**
- 8. All wallcoverings should be of one dye lot per colour.  
Full lengths must be used.  
Check to ensure proper pattern and colour prior to installation.  
Return wallcovering into reveals and around columns as required.  
All wallcoverings must comply with the local fire codes.  
Avoid getting adhesive on the face of the material.**





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## **Section 2.0**

## **Wall, Ceiling and Floor Finishes**

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### **2.2 General Notes – Floor Finishes**

- 1. Refer to Floor Finishes Drawings, Room Finishes Schedules, Reflected Ceiling Plans and Details.**
- 2. Provide all labour, materials, products, equipment and services required and/or indicated on the drawings and specified herein for the installation of floor finishes.**
- 3. Installer to verify all site conditions and dimensions prior to ordering and installation.**
- 4. Carpet layout from installer is required prior to commencing work. Carpet insets and borders must be cut very carefully and use a high quality seam sealer to ensure long lasting joints and prevents loosening of pile. Carpet base to have pre-finished colour-matched surged edges.**
- 5. Carpet to continue under shelves and recessed base of furniture and/or millwork.**
- 6. Install all carpet to center of door unless otherwise noted.**
- 7. All carpet lengths to be installed with nap running in one direction.**
- 8. Vinyl tile to be installed directly to the concrete finish using manufacturer's recommended adhesive; wax and polish prior to tenants' occupancy.**
- 9. All areas with vinyl tile flooring to receive 4" vinyl base as specified.**
- 10. Ceramic floor tiles shall be set in thin portland cement mortar setting bed, 10mm nominal or as required.**
- 11. Make cut edges smooth, even and free from chipping. Edges resulting from chipping are not acceptable.**



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## **Section 2.0**

## **Wall, Ceiling and Floor Finishes**

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### **2.2 General Notes – Floor Finishes Con't**

- 12. Ceramic tile to continue under recessed base of counters and under shelves where applicable.**
- 12. Align grout lines in floor and tile base where applicable. Make joints between tiles uniform, plumb and straight with adjacent units flush and level.**
- 13. All exposed edges on ceramic tiles to be finished to match colour of tile.**
- 14. Dye lots of all ceramic / porcelain trims must be identical to relevant field tiles.**
- 15. Contractor / installer to prepare floor accordingly to receive granite and/or marble tiles.**
- 16. All exposed granite and/or marble tile edges to be polished.**
- 17. Provide granite or marble slab thresholds as specified on floor finishes plans unless otherwise noted.**
- 18. Installers to provide suitable edge protection and/or transition strips in all locations if required where two different flooring materials meet. Ensure that all transition of flooring materials and strips are installed flush and are barrier free compliant. All required hardware to be by Schluter Systems, finish: Stainless Steel. Contractor to provide samples of all proposed metal transition strips and/or floor and wall metal inlays to designer for approval.**



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## **Section 2.0**

## **Wall, Ceiling and Floor Finishes**

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### **2.3 Carpets**

#### **General Note:**

Installers to provide suitable edge protection and/or transition strips in all locations if required where two different flooring materials meet. Ensure that all transition of flooring materials and strips are **installed flush and are barrier free compliant.**

All required hardware to be by **Schluter Systems**, finish: Stainless Steel.

Contractor to provide samples of all proposed metal transition strips and/or floor and wall metal inlays to designer for approval.

**C-1 Supplier: The C/S Group**  
**Contact: Cindy Noah (905) 273-2611**  
**Series: Pedimat - Flush Recessed (Into surrounding floor tiles)**  
**Rail & Frame Finish: Clear Anodized (C)**  
**Carpet Tread: 7323 Castle Gray**

**Area No.: P-01, P2-01, P1-01, Vestibules,  
P-03, P2-03, P1-03 North Air Locks,  
P2-04, P1-04, P-04 South Air Locks, G-01 Vestibule**

**C-2 Supplier: Mohawk Group**  
**Contact: Rhonda Russel (416) 460-9375**  
**Type: Broadloom**  
**Width: 12'-0**  
**Series: Karastan Contract**  
**Pattern/No.: Insatiable KC152**  
**Colour/ No.: Allurement / # 695**  
**Repeat: 1 ½" W**  
**Content: Ultron Nylon, Type 6.6**  
**Indoor Air Quality: IAQ Green Label Plus # 3802**  
**Weight: 28 oz**  
**W/Base: 4" High MS-1**

**Area No.: G-02 Main Lobby/Lounge, G-04 Concierge - Inset**



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### **2.3 Carpet Con't**

- C-3**      **Supplier:** Bentley Prince Street  
**Contact:** Jo Anne Crompton (647) 435-1074  
**Type:** Broadloom  
**Width:** 12'-6"  
**Series:** International Glamour  
**Pattern/No.:** 81G340630R  
**Colour/ No.:** Super Viva / # 880114  
**Repeat:** Random  
**Content:** Antron Brilliance CF Nylon  
**Indoor Air Quality:** IAQ Green Label Plus #4435  
**Weight:** 34oz  
**W/Base:** 6" High Wood Base, S-1
- Area No.:** G-25 Party Room – Inset
- 
- C-4**      **Supplier:** The McKar Group  
**Contact:** Ian DeSouza (905) 567-1505  
**Manufacturer:** Milliken Hospitality  
**Type:** Carpet Tile  
**Size:** 36" x 36" Modular  
**Series:** Tetrapoint, DR/Mat. ID 00401912  
**Pattern/No.:** T135NK9LTE-A13001  
**Colour Way.:** 1UMA  
**Repeat:** 36" x 36"  
**Installation:** Monolithic  
**Content:** 100% WearOn Continuous Filament Nylon, Type 6,6  
**Indoor Air Quality:** Green Label Plus Certified #2860  
**Weight:** 20 oz.  
**W/Base:** 5 1/2" High Wood Base Painted P-11
- Area No.:** T-01 Elevator Lobby, T-02 Suite Corridor - Broadloom



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### **2.3 Carpet Con't**

- C-5**      **Supplier:**      **Lexmark Carpet Mills**  
**Contact:**      **Andre Barci (905) 669-5533**  
**Type:**          **Broadloom**  
**Width:**        **12'-0"**  
**Series:**        **Lexshield Plus**  
**Pattern/No.:** **Zuma / #615**  
**Colour/ No.:** **#378**  
**Repeat:**        **18"W x 31.75"L**  
**Content:**       **Solution Dyed Nylon with Action Bac**  
**Indoor Air Quality:** **CRI Green Label Plus**  
**Weight:**        **32oz**  
**W/Base:**       **6" High P-16**
- Area No.:**      **G-15 Theatre**
- 
- C-6**      **Supplier:**      **VI Floor Canada Ltd.**  
**Contact:**      **Scott Pope (416) 521-9014 x220**  
**Type:**          **Broadloom**  
**Width:**        **12'-0"**  
**Series:**        **Patcraft**  
**Pattern/No.:** **Glamorous / # Z6471**  
**Colour/ No.:** **Grandeur / # 00518**  
**Repeat:**        **36"W x 36"L**  
**Content:**       **Eco Solution Q Nylon**  
**Indoor Air Quality:** **CRI Green Label Plus**  
**Weight:**        **34oz**  
**W/Base:**       **As per Builder's Standard**
- Area No.:**      **G-06 Office Reception, G-07 Admin Office,  
G-09 Boardroom, G-50 Guest Suite**

### **2.3 Carpet Con't**



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### **2.3 Carpet Con't**

<b>C-7</b>	<b>Supplier:</b>	<b>VI Floor Canada Ltd.</b>
	<b>Contact:</b>	<b>Jane Shackelton (416)-521-9014</b>
	<b>Series:</b>	<b>Super Nop Commercial Matting (Winter Carpet)</b>
	<b>Colour:</b>	<b># 1115</b>
	<b>Fabric Fibre:</b>	<b>100% ASOTA</b>
	<b>Dye Method:</b>	<b>Solution Dyed Polypropylene</b>
	<b>Face Weight:</b>	<b>1750 gr/m<sup>2</sup> (52 ounces per square yard)</b>
	<b>Backing:</b>	<b>Eco-DI-back ® natural-synthetic composite rubber</b>
	<b>Weight:</b>	<b>3200 gr/m<sup>2</sup> (94 ounces per square yard)</b>
	<b>Width:</b>	<b>200 cm (6'-7")</b>
	<b>Length:</b>	<b>21 m (69")</b>
	<b>Total Thickness:</b>	<b>12.5mm (0.5")</b>
	<b>Area No.:</b>	<b>G-02 Main Lobby/ Lounge, G-11 Corridor, G-51 Elevator lobby</b>



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**2.4 Ceramic Tile**

**General Note:** Installers to provide suitable edge protection and/or transition strips in all locations if required where two different flooring materials meet. Ensure that all transition of flooring materials and strips are **installed flush and are barrier free compliant.**

All required hardware to be by **Schluter Systems**, finish: Stainless Steel.

Contractor to provide samples of all proposed metal transition strips and/or floor and wall metal inlays to designer for approval.

**Note:** - All ceramic tiles to be ordered and installed with all available trims, i.e. nosings, caps, cove bases, edges, etc., as required for a complete, neat and sealed installation.

- **All tiles to be ordered well in advance of installation due to an approximate delivery time of 6-8 weeks.**

**CT-1**

**Supplier:** Ciot  
**Contact:** Badr Rauhi Salhia (416) 739-8000  
**Series:** Tecnica Eiger  
**Colour/No:** Grigio  
**Size:** 12" x 24"  
**Grout:** Mapei #02 Pewter  
**W/Base:** 4" High MS-1

**Area No.:** G-01 Vestibule, G-02 Lobby/Lounge,  
G-05 Office Corridor  
G-11 Corridor, G-15a Foyer,  
G-17 Corridor, G-51 Elevator Lobby

**W/Base:** 4" High CT-1

**Area No.:** G-08 Servery, G-10 Storage, G-12 Mail Pick Up,  
G-19 Men's Washroom, G-21 Women's Washroom,  
G-28 Fitness Studio Corridor, G-29 Men's Vestibule,  
G-33 Women's Vestibule

**W/Base:** N/A

**Area No.:** Elevator Cabs 1, 2, 3 - Floor



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### **2.4 Ceramic Tile Con't**

<b>CT-2</b>	<b>Supplier:</b> Saltillo Imports Inc. <b>Contact:</b> Alisa Biunno (416) 441-2224 X222 <b>Series:</b> Metal <b>Pattern/No:</b> Checker Board / #SM01 <b>Colour/No:</b> Stainless Steel <b>Size:</b> 3/4" x 3/4" <b>Grout:</b> Mapei #02 Pewter <b>W/Base:</b> 4" High MS-1
	<b>Area No.:</b> G-02 Lobby/Lounge, G-05 Office Corridor, G-11 Corridor, G-15a Foyer, G-17 Corridor, G-51 Elevator Lobby - Floor Accent
	<b>W/Base:</b> 4" High MS-1
	<b>Area No.:</b> Elevator Cab 1, 2, 3 - Floor Accent
<b>CT-3</b>	<b>Supplier:</b> Olympia Tile <b>Contact:</b> Robin Zandi (416) 785-9555 x316 <b>Series:</b> Spark <b>Colour/No:</b> Carbon (Black) / # WA.SP.CBN.1224 <b>Size:</b> 12" x 24" <b>Grout:</b> Mapei #47 Charcoal <b>W/Base:</b> 6" High CT-3
	<b>Area No.:</b> P-01, P2-01, P1-01 Vestibules, P-02, P2-02, P1-02, Elevator Lobbies - Floor





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**2.4 Ceramic Tile Con't**

<b>CT-4</b>	<b>Supplier:</b> Ceragres <b>Contact:</b> Rob Dibiasi (416) 420-9930 <b>Series:</b> Caesar Change <b>Colour/No:</b> Forge <b>Size:</b> 12"x24" <b>Grout:</b> Mapei #47 Charcoal <b>W/Base:</b> 4" High PL-6 / 4" High CT-4  <b>Area No.:</b> G-25a Bar / G-26 Party Room Serverly - Floor
<b>CT-5</b>	<b>Supplier:</b> Deco-Tile <b>Contact:</b> Denise West (416) 413-7985 <b>Series:</b> Wings <b>Colour/No:</b> Sumi-E Hida Natural <b>Size:</b> 1" x 1" <b>Grout:</b> StarGlass #671 Hematite (Andy Gamper 416-741-2256) <b>W/Base:</b> N/A  <b>Area No.:</b> G-25a Bar – Bar Front & Back Wall
<b>CT-6</b>	<b>Supplier:</b> Savoia <b>Contact:</b> Anthony Ondretti (416) 789-7778 <b>Series:</b> As per Builder's Standard <b>Colour/No:</b> Teoroma Perla (Order #717236) <b>Size:</b> 13" x 13" <b>Grout:</b> Mapei #27 Silver <b>W/Base:</b> 4" High CT-6  <b>Area No.:</b> G-50 Guest Suite Washroom – Floor & Tub Surround



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**2.4 Ceramic Tile Con't**

**CT-7**           **Supplier:**   Olympia Tile  
**Contact:**   Robin Zandi (416) 785-9555 ext.316  
**Series:**       Rosedale  
**Colour/No:**  Charcoal / # OV.RR.CHA.1212  
**Size:**         12” x 12”  
**Grout:**        Mapei #47 Charcoal  
**W/Base:**      4” High CT-7

**Area No.:**    G-03 CACF, G-40 Loading Area Airlock,  
G-49 Moving Room - Floor

**W/Base:**      N/A

**Area No.:**    G-38 Refuse, T-03 Refuse - Floor & Wall (Full height)  
G-14 Janitor Room – Floor & Wall (6’-0” A.F.F)

**CT-8**           **Supplier:**   Stone Tile  
**Contact:**   Nancy Brenner (416) 515-9000 ext 232  
**Series:**       Laminam / Filo  
**Colour/No:**  Ghisa  
**Size:**         300cm Length x 100cm Width x 3mm Thick  
**Grout:**        1mm Grout Line  
Mapei #47 Charcoal  
**W/Base:**      N/A

**Area No.:**    G-25a Bar – Millwork

**Critical Note: Installer to ensure unglazed ceramic slab is installed on cement board, concrete or gypsum board substrate as outlined in the manufacturers installation guidelines. Refer to the Laminam Technical Manual for installation instructions.**



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### **2.4 Ceramic Tile Con't**

<b>CT-9</b>	<b>Supplier:</b> Dal Tile <b>Contact:</b> Margaret Camicata (905) 850-4390 <b>Series:</b> Keystones Unglazed Ceramic Mosaics <b>Colour/No.:</b> Uptown Taupe Speckle / #D202 <b>Size:</b> 2" x 2" (sheet size 12" x 12") <b>Grout:</b> Mapei #11 Sahara Beige <b>W/Base:</b> 1" High Cove Base CT-10
	<b>Area No.:</b> G-30 Men's Change Room, G-32 Men's Shower, G-34 Women's Change Room, G-36 Women's Shower – Floor G-31 Men's Steam Room, G-35 Women's Steam Room – Floor & Bench
<b>CT-10</b>	<b>Supplier:</b> Dal Tile <b>Contact:</b> Margaret Camicata (905) 850-4390 <b>Series:</b> Keystones Unglazed Ceramic Mosaics <b>Colour/No.:</b> Uptown Taupe Speckle / #D202 <b>Size:</b> 2" x 1" High Cove Base #C833 <b>Grout:</b> Mapei #11 Sahara Beige <b>W/Base:</b> N/A
	<b>Area No.:</b> G-30 Men's Change Room, G-31 Men's Steam Room, G-32 Men's Shower, G-34 Women's Change Room, G-35 Women's Steam Room, G-36 Women's Shower – Cove Base



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**2.4 Ceramic Tile Con't**

- CT-11**      **Supplier:**      Dal Tile  
**Contact:**      Margaret Cimicata (905) 850-4390  
**Series:**      Keystones Unglazed Ceramic Mosaics  
**Colour/No.:**      Biscuit / #D317  
**Size:**      2" x 2" (sheet size 12" x 12")  
**Grout:**      Mapei #12 Mist  
**W/Base:**      1" High Cove Base CT-10
- Area No.:**      G-31 Men's Steam Room,  
G-35 Women's Steam Room – Floor & Ceiling  
G-30 Men's Change Room  
G-34 Women's Change Room – Floor, Ceiling (Shower)  
& Locker Bench
- CT-12**      **Supplier:**      Savoia  
**Contact:**      Anthony Ondretti (416) 789-7778  
**Series:**      Soul  
**Pattern:**      Charme (Order # 575234)  
**Colour/No.:**      Cacao / 575234  
**Size:**      10" x 30" (stacked horizontally)  
**Grout:**      Mapei #12 Mist  
**W/Base:**      1" High Cove Base CT-10
- Area No.:**      G-30 Men's Change Room, G-31 Men's Steam Room,  
G-32 Men's Shower, G-34 Women's Change Room,  
G-35 Women's Steam Room, G-36 Women's Shower –  
Wall (Accent)



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**2.4 Ceramic Tile Con't**

- |              |  |
|--------------|--|
| <b>CT-13</b> | <b>Supplier:</b> Savoia<br><b>Contact:</b> Anthony Ondretti (416) 789-7778<br><b>Series:</b> Soul<br><b>Pattern:</b> Ivory Wood (Order # 595226)<br><b>Colour/No.:</b> Ivory / # 575226<br><b>Size:</b> 10" x 30" (stacked horizontally)<br><b>Grout:</b> Mapei #12 Mist<br><b>W/Base:</b> 1" High Cove Base CT-10 |
|              | <b>Area No.:</b> G-30 Men's Change Room, G-31 Men's Steam Room, G-32 Men's Shower, G-34 Women's Change Room, G-35 Women's Steam Room, G-36 Women's Shower – Wall (Main Field)  |
| <b>CT-14</b> | <b>Supplier:</b> Dal Tile<br><b>Contact:</b> Margaret Camicata (905) 850-4390<br><b>Series:</b> Keystones Unglazed Ceramic Mosaics<br><b>Colour/No.:</b> Uptown Taupe Speckle / #D202<br><b>Size:</b> Nosing # C701<br><b>Grout:</b> Mapei #11 Sahara Beige<br><b>W/Base:</b> N/A                                  |
|              | <b>Area No.:</b> G-31 Men's Steam Room, G-35 Women's Steam Room – Bench Nosing   |



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**2.4 Ceramic Tile Con't**

<b>CT-15</b>	<b>Supplier:</b> Ceragres <b>Contact:</b> Rob Dibiasi (416) 420-9930 <b>Series:</b> Mosaics <b>Pattern/No:</b> Onix Fuseglass / AFUSBROMOS1 <b>Colour/No.:</b> Bronze / #FU040 <b>Size:</b> 1" x 1" <b>Grout:</b> StarGlass #671 Hematite (Andy Gamper 416-741-2256)
	<b>W/Base:</b> 4" High CT-1
	<b>Area No.:</b> G-19 Men's Washroom, G-21 Women's Washroom – Wall (toilet/sink wall only)
<b>CT-16</b>	<b>Supplier:</b> Cercan Tile <b>Contact:</b> Cristina Delago (416) 413-9008 <b>Series:</b> Mosaics <b>Colour/No.:</b> Silver Sky & White Mix <b>Size:</b> 15mm x 15mm on 12" x 12" sheet <b>Grout:</b> TEC AccuColorEFX Epoxy Grout #934 DeLorean Gray (Irene Chan 416-785-5165)
	<b>W/Base:</b> N/A
	<b>Area No.:</b> G-02 Lobby/Lounge – Water Feature Only



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### **2.5 Wood & Cork Flooring**

**General Note:** Installers to provide suitable edge protection and/or transition strips in all locations if required where two different flooring materials meet. Ensure that all transition of flooring materials and strips are **installed flush and are barrier free compliant.**

All required hardware to be by **Schluter Systems**, finish: Stainless Steel.

Contractor to provide samples of all proposed metal transition strips and/or floor and wall metal inlays to designer for approval.

**HW-1**      **Supplier:**      Torlys  
**Contact:**      Laura Binni (416) 525-8333  
**Type:**          Laminate  
**Series:**        Vogue  
**No.:**            QS-UVG1390  
**Colour:**        Rustic Oak Light  
**Plank Size:**   3/8" x 6- 1/8" x 54 -11/32"  
**c/w Underlay:** Torlys Safe and Sound  
**W/Base:**       4 1/2" High Wood Base S-1  
  
**Area No.:**      G-25 Party Room, G-22 W.I.C

**HW-2**      **Supplier:**      Torlys  
**Contact:**      Laura Binni (416) 525-8333  
**Type:**          Cork  
**Series:**        Florence Designer  
**No.:**            CCU92669-FSC-MX  
**Colour:**        Nunavut  
**Plank Size:**   5/8" x 7-1/2" x 68 3/4"  
**W/Base:**       4" High P-7  
  
**Area No.:**      G-23 Exercise Room, G-24 Yoga Studio, G-27 Fitness Studio Foyer



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**2.5 Wood & Cork Flooring Con't.**

**HW-3**      **Supplier:**      **Torlys**  
**Contact:**      **Laura Binni (416) 525-8333**  
**Type:**          **Laminate**  
**Series:**        **Vogue**  
**No.:**            **QS-UVG1393**  
**Colour:**        **Rustic Oak Grey**  
**Plank Size:**    **3/8" x 6- 1/8" x 54 -11/32"**  
**c/w Underlay:** **Torlys Safe and Sound**  
**W/Base:**        **6" High PL-1**

**Area No.:**      **G-16 Dining Room**





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**2.6 Stone Finishes: Marble Slab & Marble Tile**

**General Note:**

Installers to provide suitable edge protection and/or transition strips in all locations if required where two different flooring materials meet. Ensure that all transition of flooring materials and strips are **installed flush and are barrier free compliant.**

All required hardware to be by **Schluter Systems**, finish: Stainless Steel.

Contractor to provide samples of all proposed metal transition strips and/or floor and wall metal inlays to designer for approval.

- Material samples of all specified stone slabs and tiles **of current stock** must be submitted to the Designer for approval prior to ordering/installation.

- **All stone slab & tiles to be ordered well in advance** of installation due to an approximate **delivery time of 6-8 weeks.**

- **Contractor to provide shop drawings** pertaining to all stone slab installation denoting seam layouts, joints, trim & edge details, etc. for designer's approval prior to installation.

**MS-1**

**Supplier:** Ciot  
**Contact:** Aaron Huynh (416) 739 8000  
**Type:** Marble Slab  
**Colour/No.:** Bianco Carrara  
**Finish:** Polished  
**Size:** ¾" Thick

**Area No.:** G-02 Lobby/Lounge, G-04 Concierge,  
G-12 Mail Room Pick Up, G-25 Party Room,  
G-25a Bar, G-51 Elevator Lobby – Wall



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**2.6 Stone Finishes: Marble Slab Con't.**

**MS-2**

<b>Supplier:</b>	<b>SMDS</b>
<b>Contact:</b>	<b>Sharon Allen (800)-361-3194 x235</b>
<b>Type:</b>	<b>Quartz Slab</b>
<b>Colour/No.:</b>	<b>K-Soul Gloss</b>
<b>Finish:</b>	<b>Polished</b>
<b>Size:</b>	<b>¾" Thick</b>

**Area No.:** **G-19 Men's Washroom, G-21 Women's Washroom,  
G-30 Men's Change Room,  
G-34 Women's Change Room - Countertop**



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**2.7 Vinyl Bases:**

**VB-1**

**Supplier:** Johnsonite  
**Contact:** Tom Joyce (905) 886-8081  
**Series:** Vinyl Cove Base 1/8"  
**Colour/No.:** Moon Rock / #29  
**Size:** 4" High

**Area No.:** G-12a Mail Delivery, G-13 Mechanical Closet, G-39 Electrical Closet, G-41 Garbage Staging Area, G-42 Bike Storage Area, G-43 Garbage Holding, G-44 Exit Vestibule, G-45 Townhouse Refuse Room, G-46 Garbage Loading Area Bay, G-47 Stair Exit Corridor 1, G-48 Stair Exit Corridor 2, P-03, P2-03, P1-03 North Air Lock, P-04, P2-04, P1-04 South Air Lock, P-05 Lockers, P-06 Bicycle Storage Room, P1-05 Corridor, P1-06 Lockers, P1-07 Mechanical Room, P1-08 Electrical Room 2, P1-09 Communication Room, P1-10 CCU Room, P1-11 Seasonal Furniture Storage, P1-12 Electrical Room, P1-13 Garbage Room, P2-05 Lockers, P2-06 Bicycle Storage Room, P2-07 Mechanical Room, T-04 Electrical, Stair A, B, C, D



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**2.8 Acoustical Ceiling Tile:**

<b>ACT-1</b>	<b>Supplier:</b>	<b>Armstrong Ceilings</b>
	<b>Contact:</b>	<b>Sarah Withey (416) 525-0003</b>
	<b>Type:</b>	<b>Ultima Open Plan Tegular, 70% Recycled Content</b>
	<b>No.:</b>	<b>1945</b>
	<b>Edge Profile:</b>	<b>Beveled Tegular</b>
	<b>Size:</b>	<b>24" x 48" x 3/4"</b>
	<b>Tile Colour:</b>	<b>White</b>
	<b>Tee Grid:</b>	<b>9/16" Suprafine Exposed Tee Grid System</b>
	<b>Grid Colour:</b>	<b>White</b>
	<b>Perimeter:</b>	<b>#7873 Shadow Moulding</b>
	<b>Smoke:</b>	<b>50</b>
	<b>Flame:</b>	<b>25</b>
	<b>Area No.:</b>	<b>T-02 Suite Corridor – Refer to RCP</b>
<b>ACT-2</b>	<b>Supplier:</b>	<b>Armstrong Ceilings</b>
	<b>Contact:</b>	<b>Sarah Withey (416) 525-0003</b>
	<b>Type:</b>	<b>Dune Tegular 35% Pre-Consumer Recycled Content 18% Post-Consumer Recycled Content</b>
	<b>No.:</b>	<b>1724 HRC</b>
	<b>Edge Profile:</b>	<b>Beveled Tegular</b>
	<b>Size:</b>	<b>24" x 24"</b>
	<b>Tile Colour:</b>	<b>White</b>
	<b>Tee Grid:</b>	<b>9/16" Suprafine Exposed Tee Grid System</b>
	<b>Grid Colour:</b>	<b>White</b>
	<b>Perimeter:</b>	<b>#7873 Shadow Moulding</b>
	<b>Smoke:</b>	<b>50</b>
	<b>Flame:</b>	<b>25</b>
	<b>Area No.:</b>	<b>G-06 Office Reception, G-07 Admin Office</b>



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**2.8 Acoustical Ceiling Tile:**

<b>ACT-3</b>	<b>Supplier:</b>	<b>Armstrong Ceilings</b>
	<b>Contact:</b>	<b>Sarah Withey (416) 525-0003</b>
	<b>Type:</b>	<b>Soundscapes Shapes Acoustical Clouds 70% Recycled Content</b>
	<b>No.:</b>	<b>5441WH Convex / 5442WH Concave</b>
	<b>Size:</b>	<b>4' x 4' x 7/8"</b>
	<b>Panel Colour:</b>	<b>White</b>
	<b>Accessory Colour:</b>	<b>White</b>
	<b>Installation Type:</b>	<b>Grouping Frames</b>
	<b>Smoke:</b>	<b>50</b>
	<b>Flame:</b>	<b>25</b>
	<b>Area No.:</b>	<b>G-23 Exercise Room, G-24 Yoga Studio</b>
<b>ACT-4</b>	<b>Supplier:</b>	<b>Laqfoil</b>
	<b>Contact:</b>	<b>Dimitriy Zarossilenok (416) 663-1708</b>
	<b>Type:</b>	<b>PVC Stretched Membrane</b>
	<b>No.:</b>	<b>#347</b>
	<b>Panel Colour:</b>	<b>High Gloss Black</b>
	<b>Smoke:</b>	<b>110</b>
	<b>Flame:</b>	<b>10</b>
	<b>Area No.:</b>	<b>G-16 Dining Room, G-25 Party Room</b>



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### **General Note:**

- 1. Contractor must verify all denoted Finishes Locations/Areas in these Specifications with the Room Finish Schedule ID7-01 and relevant Elevations & Details prior to pricing.**
- 2. Any proposed substitutions or modifications to the specifications require the Designer's approval.**
- 3. Any discrepancies are to be brought to the Designer's attention prior to pricing/or ordering/or installation of any product.**
- 4. Contractor must submit samples of all specified products prior to commencing work.**

### **2.9 Wallcoverings:**

**W-1 Supplier: Metro Wallcoverings**  
**Contact: Natasha Prowell (905) 738-5177 ext 7460**  
**Book: Koroseal**  
**Pattern: Patty Madden / Leda**  
**Colour/No.: Silver Satin / #L419-05**  
**Width: 54/55"**  
**Repeat: 52" H x 35.13" V / Non-Reverse Straight Match**  
**Flame: 10**  
**Smoke: 15**

**Area No.: G-05 Office Corridor, G-11 Corridor, G-12 Mail Pick Up, G-15a Foyer, G-17 Corridor, G-28 Fitness Studio Corridor, G-29 Men's Vestibule, G-33 Women's Vestibule, G-51 Elevator Lobby, P-01, P2-01, P1-01 Vestibules, P-02, P2-02, P1-02 Elevator Lobbies**



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**2.9 Wallcoverings Con't.**

- W-2 Supplier: Metro Wallcoverings**  
**Contact: Natasha Prowell (905) 738-5177 ext 7460**  
**Book: Patty Madden**  
**Pattern: Ankara Vine**  
**Colour/No.: Vali / LXB-AKV-08**  
**Width: 52/54"**  
**Repeat: 33" Vertical, 52" Horizontal, Straight Hang Random Match**  
**Flame: 10**  
**Smoke: 15**
- Area No.: G-16 Dining Room**
- W-3 Supplier: Crown Wallpaper**  
**Contact: Diane Neville (416) 245-2900**  
**Book: Symphony**  
**Pattern: Front Row**  
**Colour/No.: Ore / # AZ52246FT**  
**Width: 52"**  
**Repeat: 18" H x 17.375" W / Straight hand match**  
**Flame: 25**  
**Smoke: 45**
- Area No.: G-25 Party Room, G25a Bar**
- W-4 Supplier: Crown Wallpaper**  
**Contact: Diane Neville (416) 245-2900**  
**Book: Symphony**  
**Pattern: Virtuoso**  
**Colour/No.: Rhodium / # AZ52254VR**  
**Width: 54"**  
**Repeat: None / Reverse random match**  
**Flame: 25**  
**Smoke: 45**
- Area No.: G-06 Office Reception, G-07 Admin Office, G-09 Boardroom**



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**2.9 Wallcoverings Con't.**

**W-5 Supplier: Crown Wallpaper**  
**Contact: Diane Neville (416) 245-2900**  
**Book: Versa**  
**Pattern: Wavelengths**  
**Colour/No.: Char / # A115-344**  
**Width: 52/54"**  
**Repeat: None / Reverse Hang, Straight Across Match**  
**Flame: 5**  
**Smoke: 20**

**Area No.: G-23 Exercise Room, G-24 Yoga Studio (Main)**

**W-6 Supplier: Levey Wallcoverings**  
**Contact: Jed Burrows (905) 829-8000**  
**Book: Cirqa**  
**Pattern/No.: Lucy in the Sky / # Levey11 - 005398**  
**Colour/No.: Inner Light / # Q48-493**  
**Width: 52/54"**  
**Repeat: 24" V**  
**Flame: 10**  
**Smoke: 20**

**Area No.: G-23 Exercise Room, G-24 Yoga Studio, G-27 Fitness Foyer (Accent)**





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**2.9 Wallcoverings Con't.**

- W-7 Supplier: Crown Wallpaper**  
**Contact: Diane Neville (416) 245-2900**  
**Book: Tri-Kes**  
**Pattern: Bankwire**  
**Colour/No.: Dove / # 2VBN-13**  
**Width: 54"**  
**Repeat: None / Reverse Hang, Random Match**  
**Flame: 5**  
**Smoke: 20**
- Area No.: G-19 Men's Washroom, G-21 Women's Washroom,  
G-50 Guest Suite**
- W-8 Supplier: Crown Wallpaper**  
**Contact: Diane Neville (416) 245-2900**  
**Book: Symphony**  
**Pattern: Singer**  
**Colour/No.: Chromatic Crescendo / # AZ52418SG**  
**Width: 54"**  
**Repeat: 18" H x 54"W / Reverse Random Match**  
**Flame: 25**  
**Smoke: 45**
- Area No.: T-01 Elevator Lobby, T-02 Suite Corridor**



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### **2.10 Paints:**

#### **General Note:**

- Contractor **must verify** all denoted Finishes Locations/Areas in these Specifications with the Room Finish Schedule ID-7-01 and relevant ID Elevations & Details **prior to pricing.**
- Provide **Paint Draw-Downs** of each specified Paint/Finish for Designer's approval.

- P-1 Supplier: ICI Paints**  
**Series: Xpert #47010 Series Latex Concrete Floor Paint**  
**Colour/No.: Grey Tweed / #30YY 22/059 (Order #A1839)**  
**Finish: As per Builder's Standard**  
**W/Base: VB-1**
- Area No.: G-12a Mail Delivery, G-13 Mechanical Closet, G-39 Electrical Closet, G-41 Garbage Staging Area, G-42 Bike Storage Area, G-43 Garbage Holding, G-44 Exit Vestibule, G-45 Townhouse Refuse Room, G-46 Garbage Loading Area Bay, G-47 Stair Exit Corridor 1, G-48 Stair Exit Corridor 2, P-03, P2-03, P1-03 North Air Lock, P-04, P2-04, P1-04 South Air Lock, P-05 Lockers, P-06 Bicycle Storage Room, P1-05 Corridor, P1-06 Lockers, P1-07 Mechanical Room, P1-08 Electrical Room 2, P1-09 Communication Room, P1-10 CCU Room, P1-11 Seasonal Furniture Storage, P1-12 Electrical Room, P1-13 Garbage Room, P2-05 Lockers, P2-06 Bicycle Storage Room, P2-07 Mechanical Room, T-04 Electrical, Stair A, B, C, D - Floor**



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### **2.10 Paints Con't:**

#### **General Note:**

- Contractor **must verify** all denoted Finishes Locations/Areas in these Specifications with the Room Finish Schedule ID-7-01 and relevant ID Elevations & Details **prior to pricing.**
- Provide **Paint Draw-Downs** of each specified Paint/Finish for Designer's approval.

**P-2 Supplier: ICI Paints**  
**Series: Life Master (Low VOC Content)**  
**Colour/No.: Pewter Grey / #50YY 47/053 (Order #A1857)**  
**Finish: Eggshell #59311 or Semi-Gloss #59211**  
**- Applicable as per Builder's Standard -**

**Area No.: G-03 CACF, G-08 Servery, G-10 Storage, G-12a Mail Delivery, G-13 Mechanical Closet, G-22 W.I.C, G-26 Party Room Servery, G-39 Electrical Closet, G-40 Loading Area Airlock, G-41 Garbage Staging Area, G-42 Bike Storage Area, G-43 Garbage Holding, G-44 Exit Vestibule, G-45 Townhouse Refuse Room, G-46 Garbage Loading Area Bay, G-47 Stair Exit Corridor 1, G-48 Stair Exit Corridor 2, G-49 Moving Room, P-03, P2-03, P1-03 North Air Lock, P-04, P2-04, P1-04 South Air Lock, P-05 Lockers, P-06 Bicycle Storage Room, P1-05 Corridor, P1-06 Lockers, P1-07 Mechanical Room, P1-08 Electrical Room 2, P1-09 Communication Room, P1-10 CCU Room, P1-11 Seasonal Furniture Storage, P1-12 Electrical Room, P1-13 Garbage Room, P2-05 Lockers, P2-06 Bicycle Storage Room, P2-07 Mechanical Room, T-04 Electrical, Stair A, B, C, D - Wall**



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### **2.10 Paints Con't:**

#### **General Note:**

- Contractor **must verify** all denoted Finishes Locations/Areas in these Specifications with the Room Finish Schedule ID-7-01 and relevant ID Elevations & Details **prior to pricing.**
- Provide **Paint Draw-Downs** of each specified Paint/Finish for Designer's approval.

**P-3 Supplier: ICI Paints**  
**Series: Life Master (Low VOC Content)**  
**Colour/No.: White on White / # 30GY 88/014 (Order #A0148)**  
**Finish: Flat #59111**

**Area No.: All ceilings throughout unless otherwise denoted**

**P-4 Supplier: ICI Paints**  
**Series: Life Master (Low VOC Content)**  
**Colour/No.: Forest Black / #30YY 10/038 (Order #A1833)**  
**Finish: Semi-Gloss-#59211 (for metal application) or High Gloss Factory Applied Spray Paint**

**Area No.: Ground Floor Redi-frames & Hollow Metal frames adjacent to Finish PL-4 or S-3 (Semi-Gloss)**  
**G-16 Dining Room – Metal Decorative Screen at FCU doors (Factory Applied Spray Paint)**

**Note: Final colour to be confirmed by Designer once sample of Stain S-3 is provided.**

**P-5 Supplier: ICI Paints**  
**Series: Life Master (Low VOC Content)**  
**Colour/No.: Toasty Grey / # 30YY 51/098 (Order #A1851)**  
**Finish: Flat #59111**

**Area No.: G-30 Men's Change Room, G-34 Women's Change Room - Doors & Ceiling**



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### **2.10 Paints Con't:**

#### **General Note:**

- Contractor **must verify** all denoted Finishes Locations/Areas in these Specifications with the Room Finish Schedule ID-7-01 and relevant ID Elevations & Details **prior to pricing.**
- Provide **Paint Draw-Downs** of each specified Paint/Finish for Designer's approval.

#### **P-6 - Same as P-1 -**

**Finish: Flat #59111 or High Gloss**

**Area No.: G-04 Concierge – Drywall niche behind pin mounted signage in High Gloss Finish  
G-23 Exercise Room, G-24 Yoga Studio,  
G-27 Fitness Studio Foyer – Ceiling in Flat Finish**

#### **P-7 Supplier: ICI Paints**

**Series: Life Master (Low VOC Content)**

**Colour/No.: Jefferson House / # 30YY 47/145 (Order #A1810)**

**Finish: Semi-Gloss #59211**

**Area No.: G-23 Exercise Room, G-24 Yoga Studio – Base & Trim**

#### **P-8 Supplier: ICI Paints**

**Series: Life Master (Low VOC Content)**

**Colour/No.: Obilisk #20YY 45/114 (Order #A1797)**

**Finish: Semi-Gloss #59211**

**Area No.: T-01 Elevator Lobby, T-02 Suite Corridor – All Metal Doors & Frames, FHC**



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### **2.10 Paints Con't:**

**General Note:**

- Contractor **must verify** all denoted Finishes Locations/Areas in these Specifications with the Room Finish Schedule ID-7-01 and relevant ID Elevations & Details **prior to pricing.**
- Provide **Paint Draw-Downs** of each specified Paint/Finish for Designer's approval.

**P-9 Supplier: ICI Paints**  
**Series: Life Master (Low VOC Content)**  
**Colour/No.:** To match wall or ceiling finish adjacent to metal grill, provide paint draw-downs for Designer's approval  
**Finish: Semi-Gloss-#59211 (for metal application)**

**Area No.:** All paint grade metal air and mechanical grills in walls throughout, unless otherwise noted.

**P-10 - Same as P-1 -**  
**Finish: Semi-Gloss #59211 (for metal application)**

**Area No.:** Ground & Penthouse Floor – All Metal Doors & Frames, FHC Stairs A, B, C, D - Metal Railings, Pickets, Metal Doors & Frames – **Stairwell side only**

**P-11 Supplier: ICI Paints**  
**Series: Life Master (Low VOC Content)**  
**Colour/No.:** Obilisk #20YY 45/114 (Order #A1797)  
**Finish: Semi-Gloss #59211**

**Area No.:** T-01 Elevator Lobby, T-02 Suite Corridor – Baseboards & Casings

**Note: Complete suite entry mock up to be approved by Designer prior to painting throughout.**



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### **2.10 Paints Con't:**

**General Note:**

- Contractor must verify all denoted Finishes Locations/Areas in these Specifications with the Room Finish Schedule ID-7-01 and relevant ID Elevations & Details prior to pricing.
- Provide Paint Draw-Downs of each specified Paint/Finish for Designer's approval.

**P-12 Supplier: ICI Paints**  
**Series: Life Master (Low VOC Content)**  
**Colour/No.: Skyline / #70BB 65/066 (Order #A1507)**  
**Finish: Eggshell #59311**

**Area No.: G-50 Guest Suite Washroom - Wall**

**P-13 Supplier: ICI Paints**  
**Series: Life Master (Low VOC Content)**  
**Colour/No.: Antique White RM / #43YY 78/053 (Order #A0065)**  
**Finish: Semi-Gloss #59211**

**Area No.: T-01 Elevator Lobby, T-02 Suite Corridor – Frieze Moulding**

**P-14 Supplier: Para Paints**  
**Series: Essence (Zero VOC Content)**  
**Colour/No.: Pump Fever #P5192-85D**  
**Finish: Semi-Gloss #59211**

**Area No.: T-01 Elevator Lobby – Elevator Doors, Frames & Door Header 1<sup>st</sup>-25<sup>th</sup> Floors**



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## **Section 2.0**

## **Wall, Ceiling and Floor Finishes**

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### **2.10 Paints Con't:**

#### **General Note:**

- Contractor **must verify** all denoted Finishes Locations/Areas in these Specifications with the Room Finish Schedule ID-7-01 and relevant ID Elevations & Details **prior to pricing.**
- Provide **Paint Draw-Downs** of each specified Paint/Finish for Designer's approval.

#### **P-15 - Same as P-2 -**

**Finish: Semi-Gloss #59211 (for metal application)**

**Area No.: Parking Levels P4 to P-1 – All Metal Doors & Frames, FHC**

#### **P-16 Supplier: Benjamin Moore**

**Colour/No.: Super Nova / # CC-990**

**Finish: Eggshell or Flat as applicable**

**Area No.: G-15 Theatre - Wall, Trim & Base (Eggshell)  
- Ceiling (Flat)**

#### **P-17 Supplier: ICI Paints**

**Series: Life Master (Low VOC Content)**

**Colour/No.: Forest Black / #30YY 10/038 (Order #A1833)**

**Finish: Semi-Gloss-#59211 (for metal application)**

**Area No.: T-01 Elevator Lobby, T-02 Suite Corridor Ground Floor  
Redi- frames adjacent to Finish S-3 (Semi-Gloss)**

**Note: Final colour to be confirmed by Designer once sample of Stain S-3 is provided.**





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## **Section 3.0**

## **Metals**

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### **3.0 Metals**

#### **3.1 General Notes**

- 1. Refer to Floor Finishes, Millwork Details and Elevations for locations of metal inlays, finishes, etc.**
- 2. Contractor to verify site conditions and dimensions prior to ordering and installation of materials.**
- 3. Designer must approve actual sample of metal finishes prior to ordering.**
- 4. Miter and polish all joints of metal inlays.**
- 5. Application of metals to follow faithfully the highest industry standards.**

#### **3.2 Finishes**

**M-1 1/2" Stainless Steel Floor Inlay**  
**Supplier: \* Schluter Systems (Canada) Inc.**  
**Contact: Joanna Tiffin 647-225-8844**  
**Type : Quadec**

- 1. Description: profile with 1/2 inch (12.5 mm) wide visible surface and integrated trapezoid-perforated anchoring leg. Q 125 E**
- 2. Anchoring Leg:**
  - a. Provide with straight anchoring leg**
- 3. Material and Finish:**
  - a. E - Stainless Steel Type 304 = V2A.**
    - 1) Height as required.**

**Area No.: - Refer to Floor Finishes Plans & Room Schedule -**

**Note: All metal inlays in floors must be installed flush with adjacent floor finishes, and mitered at corners and intersections.**



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## **Section 4.0**

## **Plastic Laminates**

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### **4.1 General Notes**

- 1.1 Refer to millwork details for location of surfaces for plastic laminate finish.**
- 1.2 Application of plastic laminates shall follow faithfully the highest industry standards and procedures.**
- 1.3 Alternatives to plastic laminate are to be approved by the Designer before commencement of work.**
- 1.4 Refer to Section 6.0 – Millwork for additional notes.**

### **4.2 Finishes**

- |             |  |
|-------------|--|
| <b>PL-1</b> | <b>Supplier:</b> Mercury Wood  |
|             | <b>Series:</b> I.T Series / Thermo-Fused Melamine  |
|             | <b>Contact:</b> Kevin Humphries (416) 747-1163   |
|             | <b>Colour/No.:</b> Rovere Tasso / # Frati-02   |
|             | <b>Finish:</b> Poro Arioso   |
|             | <b>Size:</b> Sheet Size 9'-3" L x 6'-1" W x 3/4" Thick   |
|             | <b>Edge:</b> Frati 02D / Rovere Tasso  |
|             | <b>Area No.:</b> G-01 Vestibule, G-02 Lobby, G-51 Elevator Lobby<br>– Wall & Ceiling<br>G-16 Dining Room – Wall                      |
| <b>PL-2</b> | <b>Supplier:</b> Pionite   |
|             | <b>Series:</b> Plastic Laminates   |
|             | <b>Colour/No.:</b> Ice Fishin / # WF181  |
|             | <b>Finish:</b> Suede   |
|             | <b>Area No.:</b> G-04 Concierge - Millwork (all interior surfaces to<br>receive Melamine to match)<br>G-12 Mail Pick-Up – Countertop |



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**Section 4.0**

**Plastic Laminates**

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**4.2 Finishes Con't**

- PL-3**      **Supplier:**    **Abet Corporation**  
**Series:**        **Plastic Laminates**  
**Colour/No.:**   **Silver / #2704**  
**Finish:**        **N/A**
- Area No.:**     **G-30 Men's Change Room,  
G-34 Women's Change Room – Wall & Ceiling**
- 
- PL-4**      **Supplier:**    **Mercury Wood**  
**Series:**        **I.T Series / High Pressure Plastic Laminate**  
**Contact:**     **Kevin Humphries (416) 747-1163**  
**Colour/No.:**   **Rovere Tasso / # Frati-02B**  
**Finish:**        **Poro Arioso**
- Area No.:**     **Gnd. Floor CACF Door -Refer to Door Schedule ID8.01**
- 
- PL-5**      **Supplier:**    **Octopus**  
**Series:**        **Octolam**  
**Colour/No.:**   **Mirror Chrome / #880**  
**Finish:**        **N/A**
- Area No.:**     **G-02 Lobby – Wall  
G-25a Bar - Wall**



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**Section 4.0**

**Plastic Laminates**

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**4.2 Finishes Con't**

- |             |  |  |
|-------------|--|--|
| <b>PL-6</b> | <b>Supplier:</b> Pionite<br><b>Series:</b> Plastic Laminates<br><b>Colour/No.:</b> Negotiating in Geneva / # PFA60<br><b>Finish:</b> Suede           | <b>Area No.:</b> G-25a Bar – Millwork (all interior surfaces to receive Melamine to match)   |
| <b>PL-7</b> | <b>Supplier:</b> Formica<br><b>Series:</b> Plastic Laminates<br><b>Colour/No.:</b> Aluminum Twirl / #5396<br><b>Finish:</b> N/A                      | <b>Area No.:</b> G-23 Exercise Room, G-24 Yoga Studio – Mirror Frame   |
| <b>PL-8</b> | <b>Supplier:</b> Octopus<br><b>Series:</b> Octolam<br><b>Colour/No.:</b> Natural Allusion / #196<br><b>Finish:</b> N/A                               | <b>Area No.:</b> G-15 Theatre – Millwork (all interior surfaces to receive Melamine to match)  |
| <b>PL-9</b> | <b>Supplier:</b> Arborite<br><b>Series:</b> High Pressure Laminate<br><b>Colour/No.:</b> Tatami Nezumi / #P-124.SR<br><b>Finish:</b> SR - Structured | <b>Area No.:</b> Elevator Cabs - # 1, 2, 3 – Wall Panels<br><b><u>NOTE: Elevator Cab Laminate to be ordered with Fire Rating</u></b> |



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## **Section 5.0**

## **Woods and Veneers**

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### **5.1 General Notes**

1. Refer to Millwork Details, Elevations, Room and Door Finish Schedule for location of finishes.
2. Contractor to verify site conditions and dimensions prior to ordering and installation of materials.
3. All wood solids and veneers to be fire-rated as necessary to meet all Building Code and Fire Code Regulations.
4. Provide adequate blocking and reinforcing in walls where millwork, fixtures and equipment are to be installed.
5. Application of wood stains to follow faithfully the highest industry standards and procedures.
6. Finish on all stained wood to be low luster satin stain, unless otherwise noted.
7. Detailed shop drawings and graining diagrams (indicating direction of wood grain) for wood walls and millwork must be submitted to the Designer for approval prior to commencement of any work.
8. All woods, veneers and graining to be approved by Designer prior to ordering.
9. Refer to Section 6.0 – Millwork for additional notes.

### **5.2 Finishes**

**S-1 Supplier: Tabu Veneers**  
**Species: Birch**  
**Code: 73.049LFF**

**Area No.: G-25 Party Room**  
**- Refer to Door & Room Schedule and relevant Elevations & Details**



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**Section 5.0**

**Woods and Veneers**

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**5.2 Finishes Con't.**

**S-2 DELETE**

**S-3 Wood Stain on Solid Rift Cut Oak or Rift Cut Oak Veneer**

**Stain Colour: To match Plastic Laminate PL-1**  
**Submit sample to Designer for approval prior to ordering**

**Area No.: Ground Floor Amenity Doors – Typical**  
**T-02 Suite Corridor – Suite Entry Door & Header**  
**- Refer to Door & Room Schedule and relevant**  
**Elevations & Details**



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## **Section 6.0**

## **Millwork**

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### **6.1 General Notes & Instructions**

- 1. Comply with general instructions and all documents referred to therein.**
- 2. Provide all labor, materials product, equipment and services to complete the finish carpentry necessary and/or indicated on the drawings and specified herein.**
- 3. Check all job site dimensions and conditions and notify the Designer in writing of unacceptable conditions. Do not proceed until remedial instructions are received.**
- 4. Unless otherwise specified herein, comply with the requirements for premium grade work as set out in the quality standards for architectural millwork published by the AWMAC.**
- 5. Submit shop drawings for all millwork items with sections, related elevations, and joinery details. Indicate direction of wood grain, veneer, gables and seams, etc.**
- 6. Show details of fixing and joining, where methods indicated by the Designer can be improved upon, show such changes but maintain Designer's lines, levels and profiles.**
- 7. Plywood:  
Veneer core birch or oak plywood, depending on location; shop grade thickness as specified, for painted, or stained millwork.**
- 8. Particle Board:  
Core material for plastic laminate work shall be high density to thickness specified.**
- 9. Co-ordinate with other trades to complete work, Do all cutting required for interface with mechanical, electrical and plumbing trades.**



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**Section 6.0**

**Millwork**

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10. **Where laminate must be seamed, provide flush and tight hairline joints. Where sections of plastic laminate clad millwork must be joined, make joints with blind splines and concealed draw bolts.**
11. **Supply and install all necessary wood blocking and /or plywood as required to ensure safe and stable construction.**
12. **All exterior exposed surfaces, including exposed gables, both sides of doors and drawer fronts to receive finish as specified for exterior of millwork unit; all interior exposed surfaces to receive melamine finish; colour to be approved by the Designer.**
13. **All coat closet hat shelves and exposed wood framing for paint finish to match wall finish in adjacent area, unless otherwise noted.**
14. **All coat closets to receive coat rod.**
15. **Provide full extension drawer glides; sides, backs and bottom of drawers to be ½" particle board.**
16. **All drawers and cupboard doors to have finger pulls.**
17. **All doors to have fully concealed hinges touch latch and magnetic catches, unless otherwise noted.**
18. **All shelves to be fully adjustable on flush recessed pilaster strips; colour: brushed silver.**
19. **Detail drawings not to be scaled.**

**- END OF SPECIFICATIONS -**



**RESIDENCES AT ARGENTO INC.  
18 GRAYDON HALL DRIVE  
JOB NO. 2006-09**

**SCOPE OF WORK**

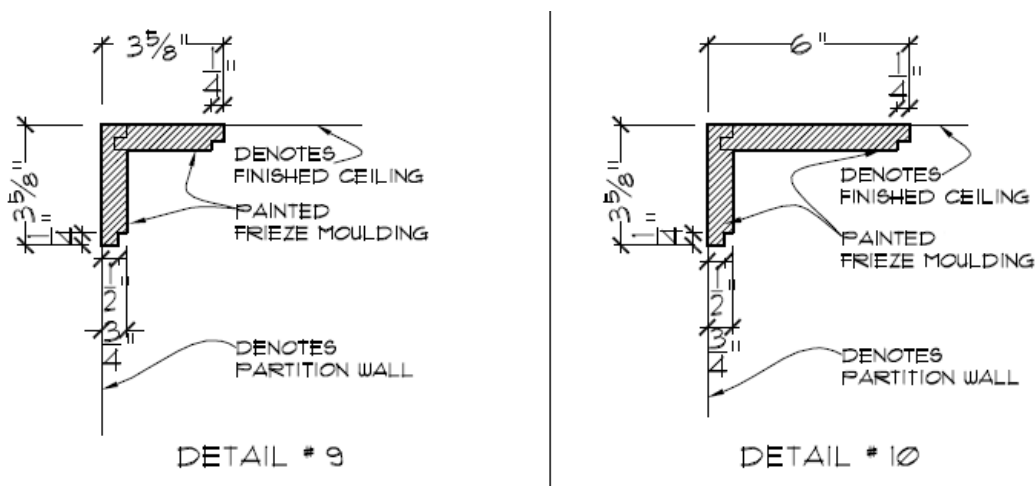
**ACTIVITY NAME: CORNICE MOULDING**  
**ACTIVITY NUMBER: 09400**

The following list must be part of the Contractor's Scope of Work. However this list is to be used as a minimum guide and does not alleviate the Contractor of the responsibility to also carry out, in addition, other work according to the conventional good and current trade practices.

1. Contractor acknowledges that the plans and specifications are in some respects not complete. Contractor agrees that it will perform all cornice moulding work required, in accordance with the spirit and intent of these plans and specifications and to conventional and good trade practices, at no extra charge, even if not specifically reflected in the plans and specifications. This Contractor shall also fulfill all requirements of the Ontario Building Code and of all authorities having jurisdiction, at no expense to the Owner. Furthermore, the Contractor acknowledges the Owners intent to pursue LEED certification by the Canada Green Building Council and consents to make commercial best efforts to assist in this regard on all relevant LEED credits as mentioned below.
2. Contractor to supply all labour, materials, supervision, tools, tackle, equipment, transport, taxes, insurance, etc., necessary to carry out and complete the Contractor's work in all areas on the above project as outlined here in.
3. This Contractor to provide sufficient equipment, labour and materials to maintain Owner's Construction Schedule as attached in **Schedule "D"** dated August 30, 2014 and which may be amended from time to time by the Construction Manager. Contractor to maintain sufficient stock of materials to complete entire building requirements. **It is anticipated that the installation of the Lobby Cornice Moulding will start in and around February 2015.**
4. This Contractor shall be responsible for daily cleaning relative to his work and deposit his garbage in the garbage container provided by Owner. It is this Contractor's responsibility to leave each room area broom-swept. Failure to comply will result in an automatic back-charge without notice.
5. This Contractor acknowledges the Owners intent to reduce construction waste shipments to landfill sites, and will review and comply with the sites construction waste management plan, which seeks to achieve a 75% diversion rate.
6. This Contractor may be required to have a representative present for all construction site meetings (usually bi-weekly) prior to and during his on site work to help coordinate this Contractor's work with all other contractors on site. The representative is expected to record and periodically submit relevant documentation to the Owner as it relates to each referenced LEED credit.

**Common Areas**

7. This Contractor to supply and install custom plaster moulding to all common area corridors and elevator lobbies as shown on the Interior Design Drawings and as referenced on ID6.17 and ID9.01 (**Details #9 and #10**). Paint finish by others.



8. This Contractor is advised all wood crown moulding/frieze (stained or veneered) i.e. for the Ground Floor Party Room and Dining Room, will be supplied and installed by the Finishing Carpenter.

9. Contractor is advised that this project is “sprinklered” throughout with both downward facing and sidewall concealed heads. All efforts have been made by the Designer and Owner to avoid sprinkler head collisions with crown moulding runs; however Contractor to note that periodic breaks may be required for the Residential Corridors on 2<sup>nd</sup>, 10<sup>th</sup>, 13<sup>th</sup>, 18<sup>th</sup> and PH floors where T-Bar ceiling is installed. Contractor to refer to ceiling cross sections on ID6.17.

**In-Suite Finishes**

10. This Contractor shall supply and install 6” plaster cornice moulding in the front entrance foyer, living room, dining room, kitchen and breakfast area for the 9 Townhomes as per all Drawings and Specifications. **Please Note:** Cornice moulding is not a “Standard” finish inside the suites of the Condo Tower; this Contractor may be asked to install 6” or 7” moulding as an “Upgrade” only.
11. This Contractor to coordinate his work with the Site Supervisor so that all in-suite cornice moulding is installed prior to ceiling spray stucco (to ensure a smooth straight border between cornice and stucco). Total protection of surrounding areas and materials must be provided by this Contractor.
12. **TOWER-** All in-suite ceilings shall receive a stippled textured ceiling, including the kitchen area, with the exception of those areas featuring a dropped drywall ceiling i.e. bathrooms, closets, and the PH Level, which shall be finished “smooth”. **Please Note:** Penthouse suites shall receive smooth ceilings throughout.

	In-Suite Ceiling Height	Door Height	Bathroom Ceiling Height	Baseboard/Casing (Step Bevel)
Ground	8'-6"	6'-8"	8'-6"	5" / 3"
2 <sup>nd</sup>	9'	7'	8'	5" / 3"
3-9	8'-6"	6'-8"	7'-6"	5" / 3"
10-27	9'	7'	8'	5" / 3"
PH	10'	8'	9'	5" / 3"

13. **TOWNHOUSES-** The entire main floor level of each Townhouse Unit shall receive a smooth ceiling. 2<sup>nd</sup> Level & 3<sup>rd</sup> level floors (containing the bedrooms) shall receive a sprayed textured finish by the Drywall Contractor. All bathrooms and closets shall feature a smooth dropped ceiling.

**Purchaser Upgrades**

14. This Contractor will be required, where requested, to carry out **Purchaser Upgrades** (Purchaser Agreements) at a pre-determined cost. Cost includes all overhead and profit and will reflect the final total invoice cost for each item on an individual basis.
15. It is this Contractor’s responsibility to visit the site office prior to commencing work in a suite to pick up all accepted Work Orders (purchaser upgrades) and all associated specifications and black-lines.
16. Where requested, this Contractor to supply and install in-suite plaster moulding upgrades (for the Tower and Townhomes- 2<sup>nd</sup> & 3<sup>rd</sup> floors) at an extra to contract unit rate of **\$7** per linear foot for 6” mouldings and **\$7.50** per linear foot for 7” mouldings.

**Deficiencies**

17. Supply and install all cornice moulding with proper flush mitred joints at all corners and angles. Straight sections to be done without any visible joints. All cracks caused by shrinkage will be repaired by this Contractor.
18. This Contractor shall report to the Site Supervisor any defects to background surfaces prior to commencement of his work on these surfaces. If this Contractor does not report any defects, he will assume any and all responsibility to rectify his work, should the work not be deemed acceptable by the Site Supervisor and the Purchaser.

**Job Specific**

19. This Contractor is to refer to attached **Schedules “B”** for “Features and Finishes” of the Townhouse Units (only). Cornice moulding is not an included feature for the Condo Tower suites.
20. This Contractor shall supply and install all cornice work for the Common Areas as per the Interior Design Drawings and Finishes Specifications Manual dated March 26, 14 attached as **Schedule ‘E’**.
21. This Contractor is responsible to make all deliveries as per the instructions of the Site Supervisor. A **Dual Hoist** shall be provided for the **Tower** during construction to facilitate loading and hoisting of materials.

22. This Contractor shall be responsible for hoisting (hand bombing) all material inside the **Townhomes** as no formal hoist will be installed by the Owner.
23. Contractor to adhere to VOC Limits for Adhesives and Sealants as they appear in the attached **Schedule 'F'**.
24. This Contractor has been advised that there will be **no on-site parking** provided at any stage of construction of this project. Limited Parking may be available through the neighboring Property Manager for a monthly fee.

## **LEED REQUIREMENTS**

- 1) The Contractor acknowledges the Owner's intent to achieve a LEED green building rating for this project from the Canada Green Building Council and that the following LEED credits are relevant to this scope of work. Some of the following credits require additional documentation and verification by the Contractor. While not expected to provide the final LEED submissions, the Contractor's work and supplies will make important contributions to success with LEED. Therefore, the Contractor is expected to pay special attention to documentation of deliveries to/from the site and various relevant materials applications.
  - 2) LEED refers to the Leadership in Energy and Environmental Design, a green building rating program administered by the Canada Green Building Council.
  - 3) List of LEED credits related to this scope of work:
    - Materials & Resources Credit 2.1 & 2.2: Construction Waste Management  
Objective: Divert demolition and construction waste from landfill by at least 75% in aggregate
    - Materials & Resources Credit 4.1 & 4.2: Recycled Content  
Objective: Increase the use of post-consumer and post-industrial recycled content in materials supplied to the project
    - Materials & Resources Credit 5.1 & 5.2: Regional Materials  
Objective: Increase the use of building materials and products that are processed and manufactured within 800 km of the job site (or 2400 km if shipped by rail or water)
    - Indoor Environmental Quality 4.1: Low-Emitting Materials – Adhesives & Sealants  
Objective: To use adhesives and sealants that meet the requirements listed in the IEQ Management Plan
    - Indoor Environmental Quality 4.2: Low Emitting Materials – Paints & Coatings  
Objective: To use paints & coatings that comply with the Green Seal and/or SCAQMD standards as stated in the IEQ Management Plan
- More detailed information on the above listed credits can be found on the Canada Green Building Council's website: [www.cagbc.org](http://www.cagbc.org) <http://www.cagbc.org/> or can be requested from the Owner directly.





### Date Calculations

<b>2012</b>																		
Friday	30-Dec	6-Jan	13-Jan	20-Jan	27-Jan	3-Feb	10-Feb	17-Feb	24-Feb	2-Mar	9-Mar	16-Mar	23-Mar	30-Mar	6-Apr	13-Apr	20-Apr	27-Apr
Day No.	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Stat Day	0	0	0	0	0	0	0	0	1	0	0	0	0	0	1	0	0	0
Lost Day	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
<b>Start</b>																		
Friday	4-May	11-May	18-May	25-May	1-Jun	8-Jun	15-Jun	22-Jun	29-Jun	6-Jul	13-Jul	20-Jul	27-Jul	3-Aug	10-Aug	17-Aug	24-Aug	31-Aug
Day No.	1	6	11	15	20	24	29	33	38	42	46	51	55	60	63	68	72	77
Stat Day	0	0	0	1	0	0	0	0	0	1	0	0	0	0	1	0	0	0
Lost Day	1	0	0	0	0	1	0	1	0	0	1	0	1	0	1	0	1	0
<b>2013</b>																		
Friday	7-Sep	14-Sep	21-Sep	28-Sep	5-Oct	12-Oct	19-Oct	26-Oct	2-Nov	9-Nov	16-Nov	23-Nov	30-Nov	7-Dec	14-Dec	21-Dec	28-Dec	4-Jan
Day No.	81	85	90	94	99	102	107	111	116	121	125	130	134	139	143	147	146	149
Stat Day	1	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	5	2
Lost Day	0	1	0	1	0	1	0	1	0	0	1	0	1	0	1	1	1	0
Friday	11-Jan	18-Jan	25-Jan	1-Feb	8-Feb	15-Feb	22-Feb	1-Mar	8-Mar	15-Mar	22-Mar	29-Mar	5-Apr	12-Apr	19-Apr	26-Apr	3-May	10-May
Day No.	153	157	162	167	172	177	181	186	191	196	201	205	210	215	219	224	228	233
Stat Day	0	0	0	0	0	0	1	0	0	0	0	1	0	0	0	0	0	0
Lost Day	1	1	0	0	0	0	0	0	0	0	0	0	0	0	1	0	1	0
Friday	17-May	24-May	31-May	7-Jun	14-Jun	21-Jun	28-Jun	5-Jul	12-Jul	19-Jul	26-Jul	2-Aug	9-Aug	16-Aug	23-Aug	30-Aug	6-Sep	13-Sep
Day No.	237	241	246	251	256	261	266	269	274	278	283	287	291	295	300	305	309	313
Stat Day	0	1	0	0	0	0	0	1	0	0	0	0	1	0	0	0	1	0
Lost Day	1	0	0	0	0	0	0	1	0	1	0	1	0	1	0	0	0	1
<b>2014</b>																		
Friday	20-Sep	27-Sep	4-Oct	11-Oct	18-Oct	25-Oct	1-Nov	8-Nov	15-Nov	22-Nov	29-Nov	6-Dec	13-Dec	20-Dec	27-Dec	3-Jan	10-Jan	17-Jan
Day No.	318	322	327	331	335	339	344	348	353	357	362	366	371	375	376	378	382	387
Stat Day	0	0	0	0	1	0	0	0	0	0	0	0	0	0	4	3	0	0
Lost Day	0	1	0	1	0	1	0	1	0	1	0	1	0	1	0	0	1	0
Friday	24-Jan	31-Jan	7-Feb	14-Feb	21-Feb	28-Feb	7-Mar	14-Mar	21-Mar	28-Mar	4-Apr	11-Apr	18-Apr	25-Apr	2-May	9-May	16-May	23-May
Day No.	391	396	400	405	408	413	417	422	426	431	435	440	443	448	452	457	461	465
Stat Day	0	0	0	0	1	0	0	0	0	0	0	0	1	0	0	0	0	1
Lost Day	1	0	1	0	1	0	1	0	1	0	1	0	1	0	1	0	1	0
Friday	30-May	6-Jun	13-Jun	20-Jun	27-Jun	4-Jul	11-Jul	18-Jul	25-Jul	1-Aug	8-Aug	15-Aug	22-Aug	29-Aug	5-Sep	12-Sep	19-Sep	26-Sep
Day No.	470	474	479	483	488	491	496	500	505	509	513	517	522	527	531	535	540	544
Stat Day	0	0	0	0	0	1	0	0	0	0	1	0	0	0	1	0	0	0
Lost Day	0	1	0	1	0	1	0	1	0	1	0	1	0	0	0	1	0	1
<b>2015</b>																		
Friday	3-Oct	10-Oct	17-Oct	24-Oct	31-Oct	7-Nov	14-Nov	21-Nov	28-Nov	5-Dec	12-Dec	19-Dec	26-Dec	2-Jan	9-Jan	16-Jan	23-Jan	30-Jan
Day No.	549	553	557	561	566	570	575	579	584	588	593	597	599	599	604	608	613	618
Stat Day	0	0	1	0	0	0	0	0	0	0	0	0	3	4	0	0	0	0
Lost Day	0	1	0	1	0	1	0	1	0	1	0	1	0	1	0	1	0	0
Friday	6-Feb	13-Feb	20-Feb	27-Feb	6-Mar	13-Mar	20-Mar	27-Mar	3-Apr	10-Apr	17-Apr	24-Apr	1-May	8-May	15-May	22-May	29-May	5-Jun
Day No.	622	626	630	635	640	645	650	655	659	664	669	674	679	684	689	693	698	703
Stat Day	0	0	1	0	0	0	0	0	1	0	0	0	0	0	0	1	0	0
Lost Day	1	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
<b>1st Move</b>																		
Friday	12-Jun	19-Jun	26-Jun	3-Jul	10-Jul	17-Jul	24-Jul	31-Jul	7-Aug	14-Aug	21-Aug	28-Aug	4-Sep	11-Sep	18-Sep	25-Sep	2-Oct	9-Oct
Day No.	708	713	718	722	727	732	737	742	746	751	756	761	766	770	775	780	785	790
Stat Day	0	0	0	1	0	0	0	0	1	0	0	0	0	1	0	0	0	0
Lost Day	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
<b>Final Move</b>																		
Friday	16-Oct	23-Oct	30-Oct	6-Nov	13-Nov	20-Nov	27-Nov	4-Dec	11-Dec	18-Dec	25-Dec	1-Jan	8-Jan	15-Jan	22-Jan	29-Jan	5-Feb	12-Feb
Day No.	794	799	804	809	814	819	824	829	833	838	841	841	846	851	856	861	866	871
Stat Day	1	0	0	0	0	0	0	0	1	0	2	5	0	0	0	0	0	0
Lost Day	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0



4800 Dufferin Street  
Downsview, Ontario  
M3H 5S9  
Office : (416)736-8353  
Fax : (416) 661-8923

## Cornice Moulding

### Instruction To Bidders

### RESIDENCES AT ARGENTO INC

## Tender Closes

**Wednesday, May 7, 2014 @ 3:00 p.m.**

***TENDERS ARE TO BE HAND DELIVERED***  
or EMAILED TO [tmalliaros@tridel.com](mailto:tmalliaros@tridel.com)

**Tom Malliaros, P.Q.S.**  
**Estimating Manager**

**Late Tenders will NOT be Accepted**

**Estimated Trade Start:**

**Feb-15**



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## Cornice Moulding

### Instruction To Bidders

## RESIDENCES AT ARGENTO INC

**A.) Scope Of Work:** Included

**B.) Safety Scope Of Work:** Included

**C.)**

**Architectural**

Rafael Bigauskas

**Drawings**  
ref.; Tender  
Drawing List

**Dated**  
ref.; Tender  
Drawing List

**Specifications**  
Not Included

**Interior Design**

H & M

ref.; Tender  
Drawing List

**Schedule E**  
Finishes Specifications Manual

**Suite Features and  
Finishes**

Tridel

Schedule B(1) - Argento - 18 Graydon Hall Drive  
Schedule B(2) - Argento Townhomes-

**LEED VOC Limits**

-

-

**Schedule F**

**Construction Schedule**

-

-

-

**Project Director**

Robert Tomei

(416) 736-2548 Direct Line

**Project Manager**

Andres Valenzuela

(416) 736-2541 Direct Line

**Senior Estimator**

Tom Malliaros

(416) 736-2526 Direct Line

**Assistant Project  
Manager**

Andrea Willerding

(416) 645-7009 Direct Line



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PROJECT: ARGENTO

Date: April 17, 2014

Location: Toronto

Prepared By: Rafeal Bigauskas

DOCUMENT NUMBER	DESCRIPTION	REVISION NUMBER	DATE
A1-01	CONTEXT PLAN STATISTICS AND OBC MATRIX	12	14-Apr-14
A1-02	FIRE RESISTANCE RATINGS PLANS	12	14-Apr-14
A1-03	FIRE RESISTANCE RATINGS PLANS	12	14-Apr-14
A1-04	SITE PLAN	12	14-Apr-14
A2-01	P4 LEVEL CONTEXT PLAN UNDERGROUND PARKING GARAGE	12	14-Apr-14
A2-02	P4 LEVEL UNDERGROUND PARKING GARAGE	12	14-Apr-14
A2-03	P3 LEVEL CONTEXT UNDERGROUND PARKING GARAGE	11	14-Apr-14
A2-04	P3 LEVEL UNDERGROUND PARKING GARAGE	12	14-Apr-14
A2-05	P2 LEVEL CONTEXT PLAN UNDERGROUND PARKING GARAGE	11	14-Apr-14
A2-06	P2 LEVEL UNDERGROUND PARKING GARAGE	12	14-Apr-14
A2-07	P1 LEVEL CONTEXT PLAN UNDERGROUND PARKING GARAGE	11	14-Apr-14
A2-08	P1 LEVEL UNDERGROUND PARKING GARAGE	14	14-Apr-14
A2-09	GARAGE PLAN DETAILS	11	14-Apr-14
A3-01A	GROUND FLOOR PLAN	14	14-Apr-14
A3-01B	GROUND FLOOR PLAN	11	14-Apr-14
A3-02A	2ND FLOOR PLAN	15	14-Apr-14
A3-02B	2ND FLOOR PLAN	13	14-Apr-14
A3-03A	3RD FLOOR PLAN	16	14-Apr-14
A3-03B	3RD FLOOR PLAN	15	14-Apr-14
A3-04	4TH TO 21ST FLOOR PLAN	17	14-Apr-14
A3-05	22ND FLOOR PLAN	16	14-Apr-14
A3-06	23RD - 27TH FLOOR PLAN	16	14-Apr-14
A3-07	28TH FLOOR PLAN	16	14-Apr-14
A3-08	MECH PENTHOUSE PLAN	14	14-Apr-14
A3-09	ELEVATOR MACHINE ROOM PLAN	13	14-Apr-14
A3-10	MECH PENT ROOF PLAN	12	14-Apr-14
A4-01	CONSTRUCTION NORTH ELEVATION	13	14-Apr-14
A4-02	CONSTRUCTION EAST ELEVATION	13	14-Apr-14
A4-03	CONSTRUCTION SOUTH ELEVATION	13	14-Apr-14
A4-04	CONSTRUCTION WEST ELEVATION	13	14-Apr-14
A4-05	PARTIAL SOUTH ELEVATION	11	14-Apr-14
A5-06	U/G GARAGE RAMP SECTIONS	12	14-Apr-14
A5-01	NORTH-SOUTH BUILDING X-SECTION	12	14-Apr-14
A5-02	EAST-WEST BUILDING X SECTION	12	14-Apr-14
A5-03	WALL SECTION	13	14-Apr-14
A5-04	WALL SECTION	13	14-Apr-14
A5-05	WALL SECTION	13	14-Apr-14
A5-07	WALL SECTION	13	14-Apr-14
A5-08	WALL SECTION	9	14-Apr-14
A6-01	STAIR A & B SECTIONS	14	14-Apr-14
A6-02	STAIR C & D SECTIONS	14	14-Apr-14
A7-01	MISC DETAILS	11	14-Apr-14
A7-02	MISCELLANEOUS DETAILS	12	14-Apr-14
A7-03	WINDOW DETAILS	13	14-Apr-14
A7-04	WINDOW DETAILS	12	14-Apr-14
A7-05	DETAILS	12	14-Apr-14
A7-06	PLAN DETAILS	14	14-Apr-14
A7-07	PLAN DETAILS	10	14-Apr-14
A7-08	SECTION DETAILS	8	14-Apr-14
A8-01	DOOR SCHEDULE	12	14-Apr-14
A8-02	ROOM FINISH SCHEDULE	11	14-Apr-14
A8-03	WALL CEILING & ROOF SCHEDULE	14	14-Apr-14
A8-04	WINDOW SCHEDULE GROUND FLOOR	13	14-Apr-14
A8-05	WINDOW SCHEDULE 2ND & 3RD FLOORS	13	14-Apr-14
A8-06	WINDOW SCHEDULE 4TH-9TH FLOORS	14	14-Apr-14
A8-07	WINDOW SCHEDULE 10TH-21ST FLOORS	14	14-Apr-14

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PROJECT: [ARGENTO](#)

Date: April 17, 2014

Location: Toronto

Prepared By: Rafeal Bigauskas

DOCUMENT NUMBER	DESCRIPTION	REVISION NUMBER	DATE
A8-08	WINDOW SCHEDULE 10TH-21ST FLOORS	14	14-Apr-14
A8-09	WINDOW SCHEDULE 22ND-27TH FLOORS	13	14-Apr-14
A8-10	WINDOW SCHEDULE 28TH FLOOR P/H ROOF	13	14-Apr-14
A8-11	WINDOW SCHEDULE MECH P/H ROOF	13	14-Apr-14
TH-A01	TOWNHOUSE TYPE A AND B GROUND FLOOR PLAN	12	14-Apr-14
TH-A02	TOWNHOUSE TYPE A AND B SECOND FLOOR PLAN	11	14-Apr-14
TH-A03	TOWNHOUSE TYPE A AND B THIRD FLOOR PLAN	12	14-Apr-14
TH-A04	TOWNHOUSE TYPE A AND B ROOF PLAN	11	14-Apr-14
TH-A05	TYPE A TOWNHOUSE ELEVATIONS	11	14-Apr-14
TH-A06	TYPE B TOWNHOUSE ELEVATIONS	11	14-Apr-14
TH-A07	TOWNHOUSE BUILDING SECTIONS	11	14-Apr-14
TH-A08	TOWNHOUSE WALL SECTIONS	12	14-Apr-14
TH-A09	DETAILS	12	14-Apr-14
TH-A10	DETAILS	6	14-Apr-14
TH-A20	TOWNHOUSE WALL CEILING ROOF DOOR SCHEDULE	12	14-Apr-14
THA-21	TOWNHOUSE WINDOW SCHEDULE	12	14-Apr-14

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PROJECT: [ARGENTO](#)

Date: April 17, 2014

Location: Toronto

Prepared By: Hefele Makowka

DOCUMENT NUMBER	DESCRIPTION	REVISION NUMBER	DATE
ID1.00	COVER SHEET	0	13-Mar-14
ID1.01	GROUND FLOOR REFERENCE PLAN (OVERALL)	0	13-Mar-14
ID2.01	PARKING LEVEL P1 CONSTRUCTION REFERENCE & FLOOR FINISHES PLANS (PARTIAL)	0	13-Mar-14
ID2.02	PARKING LEVELS P2 - P4 CONSTRUCTION REFERENCE & FLOOR FINISHES PLANS (PARTIAL)	0	13-Mar-14
ID2.03	GROUND FLOOR CONSTRUCTION REFERENCE PLAN (PART 1)	0	13-Mar-14
ID2.04	GROUND FLOOR CONSTRUCTION REFERENCE PLAN (PART 2)	0	13-Mar-14
ID2.04A	GROUND FLOOR FLOOR FINISHES PLAN (PART 1)	0	13-Mar-14
ID2.04B	GROUND FLOOR FLOOR FINISHES PLAN (PART 2)	0	13-Mar-14
ID2.04c	GROUND FLOOR WINTER MATTING LAYOUT PLAN	0	26-Mar-14
ID2.05	2ND - 28TH FLOORS CONSTRUCTION REFERENCE & FLOOR FINISHES PLAN	0	13-Mar-14
ID3.00	LIGHTING LEGEND	0	4-Apr-14
ID3.01	PARKING LEVEL P1 REFLECTED CEILING PLANS (PARTIAL)	0	13-Mar-14
ID3.02	PARKING LEVELS P2-P4 REFLECTED CEILING PLANS (PARTIAL)	0	13-Mar-14
ID3.03	GROUND FLOOR REFLECTED CEILING PLAN (PART 1)	0	13-Mar-14
ID3.04	GROUND FLOOR REFLECTED CEILING PLAN (PART 2)	0	13-Mar-14
ID3.05	2ND - 28TH FLOORS REFLECTED CEILING PLANS	0	13-Mar-14
ID4.01	GROUND FLOOR FURNITURE & POWER & COMMUNICATION PLAN (PART 1)	0	13-Mar-14
ID4.02	GROUND FLOOR FURNITURE & POWER & COMMUNICATION PLAN (PART 2)	0	13-Mar-14
ID5.01	PLUMBING FIXTURE & WASHROOM ACCESSORY LAYOUTS	0	13-Mar-14
ID6.01	G-02 MAIN LOBBY LOUNGE ELEVATIONS	0	13-Mar-14
ID6.02	G-02 MAIN LOBBY LOUNGE ELEVATIONS & DETAILS	0	13-Mar-14
ID6.03	G-02 MAIN LOBBY LOUNGE DETAILS	0	13-Mar-14
ID6.04	G-02 MAIN LOBBY LOUNGE DETAILS	0	13-Mar-14
ID6.04A	G-01 VESTIBULE ELEVATIONS & ENTERPHONE DETAILS	0	13-Mar-14
ID6.05	G-04 CONCIERGE ELEVATIONS & DETAILS	0	13-Mar-14
ID6.06	G-12 MAIL PICK UP ELEVATIONS	0	13-Mar-14
ID6.07	G-51 GROUND FLOOR ELEVATOR LOBBY ELEVATIONS & DETAILS	0	13-Mar-14
ID6.08	P-02 P2-02 P1-02 PARKING LEVEL ELEVATOR LOBBY ELEVATIONS	0	13-Mar-14
ID6.09	G-15 THEATRE ELEVATIONS & DETAIL G-09 BOARDROOM DETAILS	0	13-Mar-14
ID6.10	G-16 DINING ROOM ELEVATIONS & DETAILS	0	13-Mar-14
ID6.11	G-25 PARTY ROOM ELEVATIONS & DETAILS	0	13-Mar-14
ID6.11A	G-25 PARTY ROOM ELEVATIONS & DETAILS	0	13-Mar-14
ID6.11B	G-25A PARTY ROOM BAR ELEVATIONS & DETAILS	0	13-Mar-14
ID6.12	G-23 EXERCISE ROOM & G-24 YOGA STUDIO ELEVATIONS	0	13-Mar-14
ID6.12A	G-23 EXERCISE ROOM & G-24 YOGA STUDIO ELEVATIONS & DETAILS	0	13-Mar-14
ID6.13	G-19 MENS WC G-21 WOMENS WC G-30 MENS CHANGEROOM & G-34 WOMENS CHANGEROOM ELEVATIONS & DETAILS	0	13-Mar-14
ID6.13A	G-31 MENS STEAM ROOM G-35 WOMENS STEAM ROOM & LOCKERS ELEVATIONS & DETAILS	0	13-Mar-14
ID6.14	ELEVATOR CABS ELEVATIONS & DETAILS	0	13-Mar-14
ID6.15	TYPICAL SUITE ENTRANCE	0	13-Mar-14
ID6.16	TYPICAL SUITE ELEVATOR LOBBY ELEVATIONS & DETAILS	0	13-Mar-14
ID6.16A	G-50 GUEST SUITE ELEVATIONS & DETAILS	0	13-Mar-14
ID6.17	TYPICAL SUITE CORRIDOR & ELEVATOR LOBBY CEILING SECTIONS	0	13-Mar-14
ID7.01	ROOM SCHEDULE	0	13-Mar-14
ID8.01	DOOR SCHEDULE	0	13-Mar-14
ID9.01	MOULDING SCHEDULE	0	13-Mar-14

**Argento Townhomes**  
**Features and Finishes**  
**SCHEDULE 'B'**

1. **Exterior General Finishes**
  - 1.1 Architecturally designed thermally broken aluminum window frames with low-E coating, argon gas filled, double pane, sealed glazing units with operable awning and casement windows\*.
  - 1.2 Contemporary brick exterior finish.
  - 1.3 Architecturally designed and insulated front door with full frosted glass cut out and transom above.
  - 1.4 Quality exterior grip set with dead bolt on main entrance door.
  - 1.5 Colour coordinated metal flashing.
  - 1.6 Patio sliding door with full glass sidelight.
  - 1.7 Natural gas BBQ disconnect, water hose bib, electrical outlet and light in all rear ground floor patios.
  - 1.8 All 3<sup>rd</sup> floor rear decks shall receive an electrical outlet and light.
  - 1.9 Front yard landscaping shall feature planters with combination of flowering shrubs, clipped hedges and ornamental trees (subject to site plan approval).
  - 1.10 Rear patio layouts feature lock stone pavers, shrub beds and privacy fencing (subject to site plan approval).
  - 1.11 3<sup>rd</sup> floor rear decks shall feature a vinyl waterproof membrane system.
  - 1.12 Automatic irrigation system for all planted areas.
2. **Interior General Finishes**
  - 2.1 Reinforced concrete subfloors on Ground floor level and 5/8" tongue & groove plywood subfloors on upper levels.
  - 2.2 Masonry demising wall between homes.
  - 2.3 The ceiling height on the Ground floor level of the unit will be approximately 9', measured from the upper surface of the floor to the underside of the drywall ceiling, provided however that various areas of the dwelling unit may contain (or be subject to) ceiling bulkheads and/or dropped ceilings, in order to facilitate the installation of structural components, mechanical systems and/or ductwork, and accordingly in those areas of the unit that are subject to said bulkheads and/or dropped ceilings the overall ceiling height will be reduced accordingly.
  - 2.4 The ceiling height on the 2<sup>nd</sup> floor level (featuring 2<sup>nd</sup> / 3<sup>rd</sup> bedrooms) and 3<sup>rd</sup> floor level (featuring master bedroom) of the unit will be approximately 8', measured from the upper surface of the floor to the underside of the drywall ceiling, provided however that various areas of the dwelling unit may contain (or be subject to) ceiling bulkheads and/or dropped ceilings, in order to facilitate the installation of structural components, mechanical systems and/or ductwork, and accordingly in those areas of the unit that are subject to said bulkheads and/or dropped ceilings the overall ceiling height will be reduced accordingly.
  - 2.5 Smooth painted ceilings grace all Ground floor levels featuring the front entrance foyer, living room, dining room, kitchen and breakfast area\* including all laundry room, mechanical room and all level bathrooms. White stippled ceiling finish to all other areas.
  - 2.6 Approximately 6" plaster cornice moulding in front entrance foyer, living room, dining room, kitchen and breakfast area\*.
  - 2.7 Interior walls and smooth ceilings are primed and then painted with two coats of off-white, quality latex paint (bathroom(s) painted satin off white and all woodwork and trim painted with durable white semi-gloss paint). Paints have low levels of volatile organic compounds (VOCs).
  - 2.8 6'-8" interior contemporary style doors with metal lever hardware to 8'-0" ceilings.
  - 2.9 7'-0" interior contemporary style doors with metal lever hardware to 9'-0" ceilings.
  - 2.10 5" paint finish, contemporary style baseboards with 3" matching door casing. Laundry, powder room, bathrooms and mechanical rooms to have tile base.
  - 2.11 Framed white panel board sliding doors to all bedroom closet(s) where applicable\*.
  - 2.12 Smooth white cultured marble window sills\*.
  - 2.13 Oak handrails, stringers and pickets stained to match ground floor plank engineered wood flooring\*\*\*. Treads and risers are carpet. Underpad installed only at tread.
  - 2.14 Door chime at main entrance.
3. **Floor Coverings**
  - 3.1 Designer selected porcelain floor tiles\*\*\* in powder room and all bathrooms.
  - 3.2 Premium plank engineered wood flooring\*\*\* throughout the front foyer entrance, living room, dining room, kitchen and breakfast area\*.
  - 3.3 Plush 50oz. green label nylon broadloom\*\*\* with underpad in all bedrooms, hallways, storage room\*, linen closet\*, walk-in-closet\*, stair landings\* and staircases (underpad included only at stair tread).
  - 3.4 Ceramic floor tiles in the laundry and mechanical rooms\*\*\*.
4. **Kitchen**
  - 4.1 Contemporary full height kitchen\*\*\* to underside of bulkhead, including full depth fridge upper cabinet with one bank of drawers. Cabinets come complete with metal hardware.
  - 4.2 Large kitchen island, for extra storage and eat-in, finished in choice of cabinetry\*\*\* and door\*\*\* with choice of granite or quartz countertop\*\*\*.
  - 4.3 Choice of granite or quartz kitchen countertop\*\*\* with polished single square edge and undermount square double basin stainless steel sink.
  - 4.4 Polished chrome single lever kitchen faucet.
  - 4.5 Energy Star high efficiency, time-delay stainless steel dishwasher.
  - 4.6 Energy Star high efficiency, stainless steel counter depth 18 cubic foot bottom mount refrigerator.
  - 4.7 Built-in microwave with high capacity hood fan in stainless steel, vented to the exterior.
  - 4.8 Self-cleaning 30 inch slide-in range with ceran top in stainless steel.
  - 4.9 Choice of ceramic backsplash tile\*\*\*.
  - 4.10 Energy saving fluorescent undercabinet lighting.
5. **Powder Room**
  - 5.1 Single Bowl Wall Mount Corner Sink
  - 5.2 Beveled mirror above corner sink.
  - 5.3 Centre pot light\*
  - 5.4 Porcelain tile flooring\*\*\*.
  - 5.5 Polished chrome single lever vanity faucet.
  - 5.6 Polished chrome bathroom accessories.
  - 5.7 Dual flush, low flow high performance toilet.
6. **Bathroom(s)**
  - 6.1 Contemporary cabinetry\*\*\* complete with metal hardware.
  - 6.2 White cultured marble vanity top with rectangular shaped bowl.
  - 6.3 Integrated drawer(s)\* in vanity millwork.
  - 6.4 Vanity-width shelf framed mirror, finish to match vanity, complete with centre pot light\* and wall scone above toilet.

- 6.5 5' soaker tub\* with polished chrome single lever faucet.
  - 6.6 12" porcelain tile surround shall be provided to the 5' soaker tub where both a soaker tub and shower exist\*
  - 6.7 Porcelain tiles\*\*\* in tub\* and shower enclosure\*.
  - 6.8 Porcelain tile flooring\*\*\*
  - 6.9 Shower light in ceiling of shower stalls\*.
  - 6.10 Framed glass shower enclosure\* with polished chrome single lever faucet.
  - 6.11 Pressure balanced and temperature controlled shower faucet.
  - 6.12 High pressure, low-flow shower head.
  - 6.13 Polished chrome single lever vanity faucet.
  - 6.14 Polished chrome bathroom accessories.
  - 6.15 Dual flush, low flow high performance toilet.
- 7. Laundry**
    - 7.1 Heavy-duty wiring and receptacle for dryer.
    - 7.2 Ventilation to exterior with automatic relay sensor exhaust control.
    - 7.3 Stacked white front loading dryer and Energy Star high efficiency front loading washer (complete with stainless steel flexible hose water connections).
- 8. Safety and Security**
    - 8.1 Concierge, monitored community access systems including two-way communication from selected zones in underground garage and entry areas. Concierge service may be monitored remotely at times.
    - 8.2 Personally encoded intrusion alarm system, suite door contact and keypad connected to Concierge station.
    - 8.3 Contacts on all operable windows and doors at grade. Motion detectors only where applicable.
    - 8.4 Electronic communication system located in lobby vestibule permits guests to communicate with residents of the unit from the building entrance. Guests in the lobby can be viewed on the resident's television.
    - 8.5 Surveillance cameras in selected locations in the building, grounds and garage may be monitored by the concierge.
    - 8.6 Emergency response key chain pendants, usable in selected areas within the underground garage, will alert the concierge of a distress call (2 pendants per unit).
    - 8.7 Hardwired smoke detectors (s) and carbon monoxide detector(s).
- 9. Comfort System**
    - 9.1 High velocity air distribution system with temperature control for better indoor air quality.
    - 9.2 Individual Energy recovery ventilator providing fresh air and heat recovery.
    - 9.3 Individually metering of electricity, hot water, heating and cooling consumption.
    - 9.4 Adjustable supply air vents for indoor air control.
    - 9.5 Central building water filtration system.
- 10. Electrical Service and Fixtures**
    - 10.1 Individual service panel with circuit breakers.
    - 10.2 Designer series receptacles and switches throughout.
    - 10.3 Light fixture in front foyer entrance, breakfast area\*, staircase landings\*, hallway(s), walk-in closet(s)\*, bedrooms, bathrooms and mechanical room and storage rooms\*.
    - 10.4 Capped ceiling light outlet in dining room.
    - 10.5 100 amperes electrical service.
    - 10.6 Heavy-duty wiring and receptacle for stove.
    - 10.7 Weather proof electrical receptacles provided at front exterior entrances, rear patios and 3<sup>rd</sup> floor level decks.
    - 10.8 Light fixtures provided at front exterior entrances, rear patios and 3<sup>rd</sup> floor level decks.
    - 10.9 Lighting fixtures designed to fit long-lasting, energy saving lamps.
    - 10.10 Potlights featured in the kitchen.
- 11. Communications**
    - 11.1 Network Centre (high-speed wiring connection point).
    - 11.2 Advanced, star design in-home structured wiring. Each telephone, cable or multi-port outlet within the home connects directly to the Network Centre.
    - 11.3 Pre-wired cable outlet in living room and bedroom(s).
    - 11.4 Pre-wired telephone outlet in living room and bedroom(s).
    - 11.5 One multi-port outlet (telephone and cable connections located on the same faceplate), will replace a prewired cable outlet in a location determined by Vendor.
    - 11.6 Category 5 telephone wiring to all telephone outlets and multi-ports.
    - 11.7 RG-6 coaxial cable to all cable outlets and multi-ports.

\* - denotes availability determined by suite design to be confirmed at D&D.

\*\*\* - denotes finishes to be selected from the vendor's samples.

All features and finishes subject to change without notice, E. & O.E. February 10, 2012

**TRIDEL**<sup>®</sup>

**Appendix A: VOC Limits for Adhesives, Sealants, Paints and Coatings**

EQc4.1 - Adhesives and Sealants	
Product Type	Max. VOC content (g/L)
<b>Adhesives and Adhesive Primers</b>	
<u>Architectural Applications</u>	
Indoor Carpet Adhesives**	50
Carpet Pad Adhesive **	50
Wood Flooring Adhesive **	100
Rubber Floor Adhesive **	60
Subfloor Adhesive **	50
Ceramic Tile Adhesives**	65
VCT & Asphalt Tile Adhesive **	50
Drywall & Panel Adhesives	50
Cove Base Adhesives	50
Multipurpose Construction Adhesives	70
Structural Glazing Adhesive	100
<u>Substrate Specific Applications</u>	
Metal to Metal	30
Plastic Foams	50
Porous Material (except wood)	50
Wood	30
Fiberglass	80
<u>Sealant Primer</u>	
Architectural – Nonporous	250
Architectural – Porous	775
Other	750
<u>Specialty Applications</u>	
PVC Welding	510
CPVC Welding	490
ABS Welding	325
Plastic Cement Welding	250
Adhesive Primer for Plastic	550
Contact Adhesive	80
Special Purpose Contact Adhesive	250
Structural Wood Member Adhesive	140
Sheet Applied Rubber Lining Operations	850
Top & Trim Adhesive	250
<u>Sealants</u>	
Architectural Sealant	250
Non-membrane Roof Sealant	300
Roadway Sealant	250
Single-Ply Roof Membrane Sealant	450
Other Sealant	420
General Purpose Mist Spray - (%)	65
General Purpose Web Spray -(%)	55
Special Purpose Aerosol adh. (all types) - (%)	70

EQc4.2 - Paints and Coatings	
Product Type	Max. VOC content (g/L)
<b>Paints and Primers</b>	
Interior Flat Paints *	50
Interior Non-Flat Paints * or Interior Primer ***	150
Anti-Corrosive/ Anti-Rust Paint	250
<u>Other Architectural Coatings</u>	
Clear Wood Finishes: Lacquer**	550
Clear Wood Finishes: Sanding sealers**	350
Clear Wood Finishes: Varnish**	350
Clear Brushing Lacquer	680
Concrete-Curing Compounds**	350
Dry-fog coating	400
Fire-Proofing Exterior Coating	350
Floor Coatings**	100
Graphic Arts (sign) Coating	500
Industrial Maintenance Coatings	250
High Temperature IM Coatings	420
Zinc-Rich IM Primers	340
Japan/Faux Finishing Coating	350
Magnesite Cement Coating	450
Mastic Coating	300
Metallic Pigmented Coating	500
Multi-Colour Coating	250
Pigmented Lacquer	550
Pre-Treatment Wash Primer	420
Sealers and Undercoaters**	200
Quick-Dry Enamel	250
Quick-Dry Primers, Sealers, Undercoats	200
Recycled Coatings	250
Roof Coating	250
Roof Coatings, Aluminum	500
Roof Primers, Bituminous	350
Rust Preventative Coatings	400
Shellac: Clear	730
Shellac: Pigmented	550
Specialty Primers	350
Stains, Interior**	250
Swimming Pool Coating – Repair	340
Swimming Pool Coating – Other	340
Waterproofing Sealers**	250
Waterproofing Concrete/Masonry Sealers**	400
Wood Preservatives	350
Low-Solids Coatings	120

Notes
Materials/products that are within the building's weatherproofing layer must comply with the given VOC limits.
* A coating is considered flat if it has a gloss of less than 5 on a 60-degree meter, or less than 15 on an 85-degree meter. If the gloss is greater than these values, the coating is considered non-flat. VOC limits for paints are based on no colour added at point-of-sale.
*** Per CIR 274, all interior primers are considered non-flat.

EQc4.3 - Flooring adhesives and finishes	
Product Type	Max. VOC content (g/L)
Grout	250
** Other relevant products, noted above, as they apply to flooring	see above



# SCHEDULE "C"

## Safety Scope of Work: herein referred to as the "Contractor"

This Schedule applies to the Contractor, its employees, any sub-contractors hired by the Contractor and any other agent acting on behalf of the Contractor.

### REGULATORY COMPLIANCE

- The Contractor acknowledges the importance and application of the Occupational Health and Safety Act, R.S.O. 1990, Chapter O.1 as amended, hereafter referred to as "The Act", and agrees that all work conducted by or services performed by the Contractor ("Work") will be in full compliance with The Act.
- Furthermore, the Contractor agrees to abide by all applicable Regulations, in connection with The Act, including, but not limited to the Regulations for; Construction Projects, Window Cleaning, Designated Substances, Workplace Hazardous Materials Information System and Confined Spaces.

### PROJECT SPECIFIC SAFETY PERFORMANCE REQUIREMENTS

The following are Specific Safety Performance Requirements to ensure and enhance site safety - they do not replace or diminish The Act and its Regulations.

#### Supervision

- The Contractor agrees to have a "competent person" (e.g. a foreman) act as a supervisor whenever its workers are on site. The supervisor will carry out the requirements and obligations of The Act including those of a "Supervisor" as defined by The Act.
- The Contractor's workers are not permitted to work unsupervised.
- The name of and contact information for the supervisor must be provided to the Owner prior to commencing work.

#### Documentation

In addition to the supervisor information, prior to arrival and commencement of Work, the Contractor will provide a copy of the following documentation to the Owner at its office;

1. Registration of Employers Engaged in Construction, Form 1000 (Ministry of Labour)
2. The Contractor's Safety Policy and Safe Work Procedures
3. WHMIS Material Safety Data Sheets for all controlled substances to be used by the Contractor
4. A current and valid "clearance certificate" issued by the Workplace Safety and Insurance Board (WSIB)

#### Training

- The Contractor agrees to ensure that every person at the site for the Contractor's benefit and by the Contractor's invitation is trained in:
  1. All of the actual and potential hazards associated with both their Work and the job site.
  2. Fall Protection
  3. WHMIS
  4. Any trade and Work specific training required by The Act and Regulations.
- Trades Qualification and Apprenticeship Act ('TQAA'). For trades governed by the TQAA, the Contractor agrees to ensure that only licensed workers (journeymen and apprentices) report to the Siste to perform Work on behalf of the Contractor.

- The Contractor agrees to ensure that copies of all the above training certificates and licenses are made available to the Owner on request.

#### Personal Protective Equipment

- The Contractor acknowledges and agrees to ensure that all workers arriving at the site arrive with and wear the prescribed personal protective equipment ('PPE'). (CSA approved hard hat and safety boots)
- Furthermore, the Contractor agrees to ensure that PPE which is not required at all times is immediately available to all of the Contractor's workers who may need it. (e.g. fall protection, safety glasses, dust masks, face shields, hearing protection, gloves, etc.)
- The Contractor agrees to ensure that adequate training is provided to their workers for all PPE which is required to be used or worn.

#### Housekeeping

The Contractor shall ensure that ongoing housekeeping is performed by its workers to prevent hazardous conditions from occurring. Good and effective housekeeping shall be performed by the Contractor, relating to all material and garbage belonging to the Contractor, on a daily basis.

Material and garbage shall not be allowed to block access/egress routes, impede access to emergency equipment or present a fire hazard. The Owner reserves the right to perform cleanup on behalf of the Contractor if any of the above conditions occur, and hold the Contractor responsible for all costs relating to the cleanup.

#### Incident Reporting

The Contractor must immediately report all injuries, incidents and serious near-misses to the Owner in writing while working on the Owner's site. The Contractor shall, in writing, inform all of its workers of the requirement to immediately inform the Contractor's supervisor, who will then inform the site supervisor of the occurrence. Incidents which require notification of external authorities (e.g. Ministry of Labour) must be coordinated through the Owner.

#### Safety Talks

The Contractor understands that it is a requirement of this contract to conduct a weekly safety talk. The talk should include a relevant safety topic and be discussed with all of the Contractor's workers working at the site that day. The facilitator and workers should sign an acknowledgement of the safety talk and a copy is to be provided to the site office at the end of each week.

#### Workplace Safety Inspections

The Contractor understands that it is a requirement of this contract to conduct a weekly workplace safety inspection. The inspection should include all tools and equipment being used by the Contractor's workers as well as the general area(s) in which the workers are working. The Contractor should sign an acknowledgement of the safety inspection and a copy is to be provided to the site office at the end of each week.

#### Enforcement of Safety Requirements

The Contractor acknowledges that the enforcement of The Act, Regulations and the Owners requirements is the primary responsibility of the Contractor and its supervisor(s). The Contractor will ensure that as part of

the supervisor's core duties, ensuring the safety of the Contractors workers and enforcement of all aspects of the safety program is included.

In addition, the Owner will monitor safety and enforce safety performance and reserves the right to remove permanently, from the site, any worker (including the supervisor) who violates any aspect of the safety program. Furthermore, the Contractor understands and agrees that it is the Contractor's sole responsibility to maintain the contracted Work schedule despite the removal of any worker or workers due to safety violations. Additional costs incurred to maintain production schedules are the sole responsibility of the Contractor under the circumstances outlined above.

**Failure to Perform**

If a safety concern is brought to the Contractor's attention and the Contractor fails to resolve the concern in a reasonable manner and time frame satisfactory to the Owner, at its sole discretion the Owner may take such corrective action as it sees fit. The Contractor shall reimburse the Owner for all of the costs, expenses and legal fees incurred in correcting all safety concerns the Contractor has been notified of and that the Contractor has failed to correct to the Owner's full satisfaction, and all such costs, expenses and legal fees may be set-off against any monies owing to the Contractor, and the Contractor hereby agrees and authorizes the Owner so to do.

Initialed by the Contractor's Representative \_\_\_\_\_

Witnessed by the Owner's Representative \_\_\_\_\_